



NORTH ROSEVILLE SPECIFIC PLAN

Prepared for the City of Roseville



*Adopted August 6, 1997
Resolution No. 97-213*

North Roseville Specific Plan

**Adopted August 6, 1997
Resolution #97-213**

Amended:

June 30, 1998; Resolution #98-240
May 19, 1999; Resolution #99-187
July 21, 1999; Resolution #99-293
March 01, 2000 Resolution #00-87
September 13, 2000; Resolution #00-432
March 21, 2001; Resolution #01-95
September 5, 2001; Resolution #01-441
January 2, 2002; Resolution #02-15
January 16, 2002; Resolution #02-39
February 6, 2002; Resolution #02-62
April 17, 2002; Resolution #02-130
May 15, 2002; Resolution #02-184
June 19, 2002; Resolution #02-247
August 7, 2002; Resolution #02-340
April 16, 2003; Resolution #03-170
February 23, 2004; Resolution #04-63
June 1, 2005; Resolution #05-273
February 1, 2006; Resolution #06-57
February 1, 2006; Resolution #06-59
October 4, 2006; Resolution #06-539
February 21, 2007; Resolution #07-104
March 28, 2007; Resolution #07-143
January 2, 2008; Resolution #08-24
March 19, 2008; Resolution #08-149

The following pages are copies of Specific Plan Amendment Resolutions referencing changes to this document currently not reflected on the specified pages in this document.

2007 PL-067

RECEIVED

MAR 21 2008

Planning & Redevelopment Department

RESOLUTION NO. 08-149

SPA-000027

AMENDING THE NORTH ROSEVILLE SPECIFIC PLAN
CROCKER RANCH NORTH L-4 DR-3 (10090 CROCKER RANCH)

WHEREAS, a proposal for amendment to the land use map and text of the North Roseville Specific Plan Crocker Ranch North L-4 DR-3 (10090 Crocker Ranch) of the City of Roseville was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on February 14, 2008; and

WHEREAS, on March 19, 2008, the City Council held a public hearing at which time the proposed amendment, with revisions, was considered; and

WHEREAS, the amendment as proposed and revised is consistent with the adopted City of Roseville General Plan; and

WHEREAS, it is the desire of this City Council to approve said amendments to the land use map and text of the North Roseville Specific Plan Crocker Ranch North L-4 DR-3 (10090 Crocker Ranch) as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

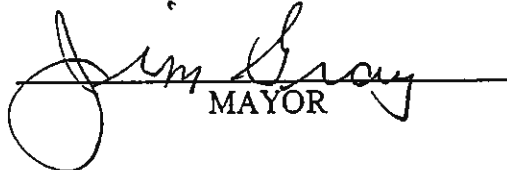
NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the land use map and text of the North Roseville Specific Plan Crocker Ranch North L-4 DR-3 (10090 Crocker Ranch) is amended as set forth in Exhibit "A."

PASSED AND ADOPTED by the Council of the City of Roseville this 19th day of March, 2008, by the following vote on roll call:

AYES COUNCILMEMBERS: Allard, Garcia, Garbolino, Gray

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: Roccucci


MAYOR

ATTEST:


City Clerk

NORTH ROSEVILLE SPECIFIC PLAN
ERRATA FOR
CROCKER RANCH LOT 4 DR-3
ADOPTED _____

The following provides a listing of amendments to the North Roseville Specific Plan required to ensure internal consistency with the addition of 59 Low Density Residential units:

NORTH ROSEVILLE SPECIFIC PLAN ERRATA

TABLE 2

1. Amend table 2 to show the addition of 59 Low Density Residential (LDR) units.

TABLE 3-3

1. Amend the Phase 3 Affordable-Housing Allocation table to add three (3) Low Income Purchase units and one (1) Middle Income Purchase unit.

APPENDIX A, DESIGN GUIDELINES

1. Eliminate Section 9.5.2, *Residential Adjacent to Agriculture on the North City Boundary*, which requires a 50-foot rear yard setback for parcels abutting the agricultural zoned lands.

RECEIVED

JAN 07 2007

Planning & Redevelopment
Department

RESOLUTION NO. 08-24

SPA 000029

AMENDING THE NORTH ROSEVILLE SPECIFIC PLAN PHASE III
(DOCTOR'S RANCH)

WHEREAS, a proposal for amendment to the text of the North Roseville Specific Plan Phase III (Doctor's Ranch) of the City of Roseville was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on November 8, 2007; and

WHEREAS, on January 2, 2008, the City Council held a public hearing at which time the proposed amendment, with revisions, was considered; and

WHEREAS, the amendment as proposed and revised is consistent with the adopted City of Roseville General Plan; and

WHEREAS, this project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) Guidelines per Section 15061(b)(3) pertaining to projects that will not have a significant effect on the environment and pursuant to Sections 305 of the City of Roseville CEQA Implementing Procedures; and

WHEREAS, it is the desire of this City Council to approve said amendments to the text of the North Roseville Specific Plan as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the text of the North Roseville Specific Plan Phase III (Doctor's Ranch) is hereby amended as set forth in Exhibit "A."

PASSED AND ADOPTED by the Council of the City of Roseville this 2nd day of January, 2008 by the following vote on roll call:

AYES COUNCILMEMBERS: Allard, Roccucci, Garcia, Garbolino, Gray

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: None


MAYOR

ATTEST:


City Clerk

NORTH ROSEVILLE SPECIFIC PLAN
ERRATA FOR
AFFORDABLE-HOUSING ALLOCATION
ADOPTED January 2, 2008

The following provides a listing of amendments to the North Roseville Specific Plan required to ensure internal consistency with the adoption of the reduction of three affordable middle-income purchase housing units:

NORTH ROSEVILLE SPECIFIC PLAN ERRATA

TABLE 3-2

1. Amend the Phase 2 Affordable-Housing Allocation table to reflect a surplus of 25 middle-income purchase units.

TABLE 3-3

1. Amend the Phase 3 Affordable-Housing Allocation table to eliminate 28 middle-income purchase units, of which 25 of the affordable units were provided in Phase 2 (and reflected in Table 3-2) and 3 of the affordable units were transferred to the Longmeadow Development within the North Industrial planning area.

TABLE 3-1
PHASE 1 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Esaton	EV-1	HDR	R3/SA	400	40	30		10
Mourier 140	M-1	HDR	R3	131	118	118		
Mourier 140	M-3	LDR	RS/DS	115	5			5
Diamond Creek	DC-7	MDR	RS/DS	72	65		40	25
Diamond Creek	DC-8	HDR	R3	200	26	26		
Woodcreek North	WN-4	LDR	R1/DS	142	22		22	
Woodcreek North	WN-5	LDR	RS/DS	136	34		21	13
TOTAL UNITS IN PHASE 1: 2509 x 10% =				251	310	174	83	53
<i>AFFORDABLE UNITS = 10% OF ALL UNITS IN PHASE I</i>								

TABLE 3-2
PHASE 2 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Watare 160	W-2	LDR	RS/DS	52	11			11
Woodcreek West	WW-14	MDR	RS	140	46			46
Woodcreek West	WW-16	MDR	RS/DS	94	45		45	25
Woodcreek West	WW-17	HDR	R3/SA	110	110	110		
TOTAL UNITS IN PHASE 2: 2,466 x 10% =				247	201	110	45	46

* Credit DR-4

TABLE 3-3
PHASE 3 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Doctors Ranch	DR-1	LDR	R1/DS	60	17			17
Doctors Ranch	DR-4	LDR	RS/DS	294	0-28	*		28
TOTAL UNITS IN PHASE 3: 669 x 10% =				67	28			28

NOTE: The City and landowners have negotiated Affordable Housing credits to achieve the required number of affordable housing units based on the following: an increased percentage of affordable housing units for low income purchase units; an increase from 15 years to 30 years the term that affordability is required to be maintained on certain affordable units; and no City subsidy is required to achieve the low income rental units.

RECEIVED

SPA-000014
2005PL-161

RECEIVED

MAR 28 2007

Planning & Redevelopment
Department

RESOLUTION NO. 07-104

AMENDING THE NORTH ROSEVILLE SPECIFIC PLAN PARCEL DC-31 (10000
DIAMOND CREEK BOULEVARD)

WHEREAS, a proposal for amendment to the land use map and text of the North Roseville Specific Plan Parcel DC-31 (10000 Diamond Creek Boulevard) of the City of Roseville was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on November 9, 2006; and

WHEREAS, on February 21, 2007, the City Council held a public hearing at which time the proposed amendment, with revisions, was considered; and

WHEREAS, the amendment as proposed and revised is consistent with the adopted City of Roseville General Plan; and

WHEREAS, it is the desire of this City Council to approve said amendments to the land use map and text of the North Roseville Specific Plan Parcel DC-31 as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

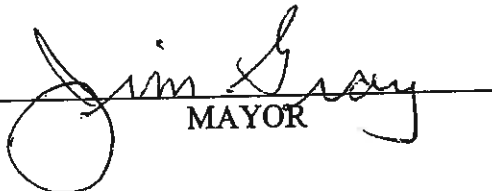
NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the land use map and text of the North Roseville Specific Plan Parcel DC-31 (10000 Diamond Creek Boulevard) is amended as set forth in Exhibit "A."

PASSED AND ADOPTED by the Council of the City of Roseville this 21st day of February, 2007, by the following vote on roll call:

AYES COUNCILMEMBERS: Allard, Roccucci, Garcia, Garbolino, Gray

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: None

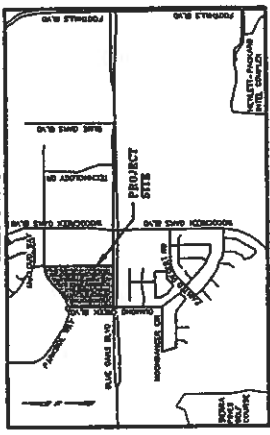

MAYOR

ATTEST:


City Clerk

DIAMOND CREEK

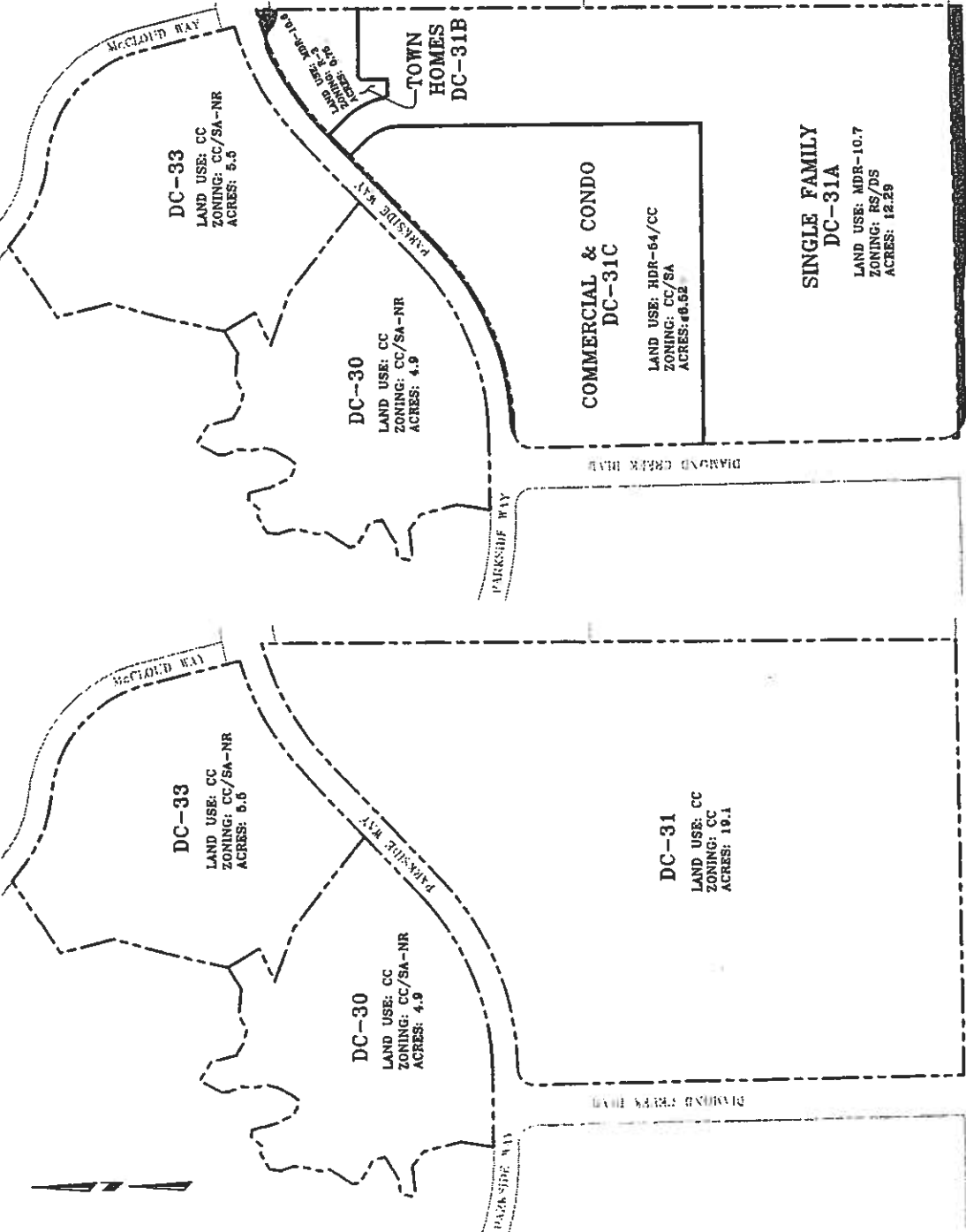
CITY OF ROCKVILLE, CALIFORNIA
 (REVISED VERSION OF 2007)
 SHEET 1 OF 1



GENERAL PLAN AMENDMENT & REZONING EXHIBIT

PROPOSED

EXISTING



PARCEL SUMMARY

PARCEL #	DC-30	DC-31A	DC-31B	DC-31C	DC-33
TYPE OF USE	Other Retail	Single Family	Town Homes	Commercial	Office/Retail
EXISTING ZONING	CC/SA-NR	CC	CC	CC	CC/SA-NR
PROPOSED ZONING	CC/SA-NR	CC	CC	CC	CC/SA-NR
EXISTING LAND USE	CC	CC	CC	CC	CC
PROPOSED LAND USE	CC	CC	CC	CC	CC
ACRES					
(GROSS)					
SQ/FT					
(GROSS)					
EXISTING BUILDING SF	42,018				58,700
PROPOSED BUILDING SF				251,000	
TOTAL UNITS					
DENSITY PER ACRE (GROSS)					

NOTES:

- THE ABOVE TABLE SHADING REPRESENTS CHANGES TO EXISTING.
- GROSS AREA = ADJUSTED R/W ALONG PARKSIDE WAY TO BACK OF OUTER AND ADJUSTED R/W ALONG BLUE OAKS BLVD. TO TOP BACK OF CURB. (SEE HATCHED AREA)



UBORA ENGINEERING & PLANNING
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 ROCKVILLE, CA 94740
 TEL: (925) 253-1100
 WWW.UBORA.COM

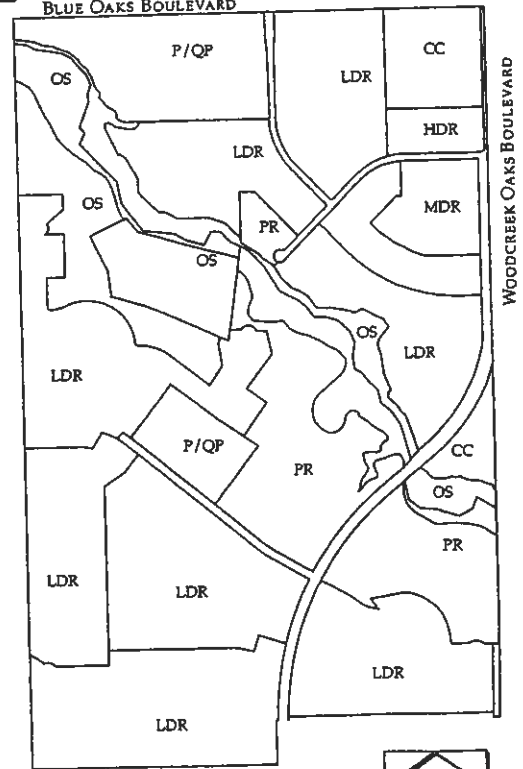
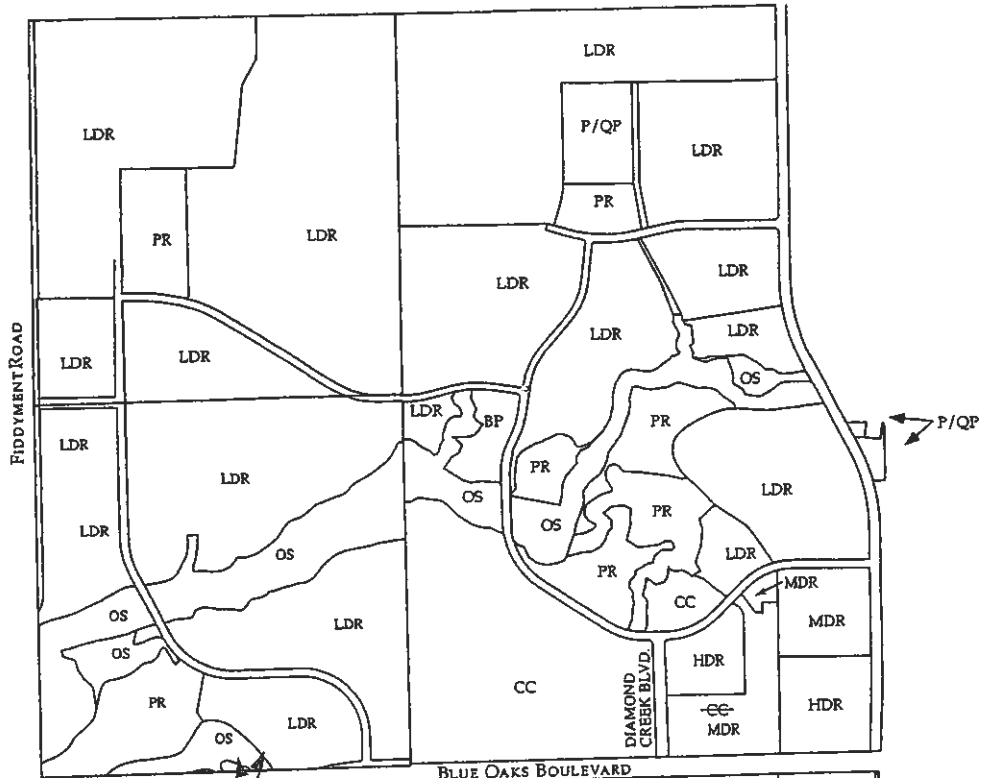
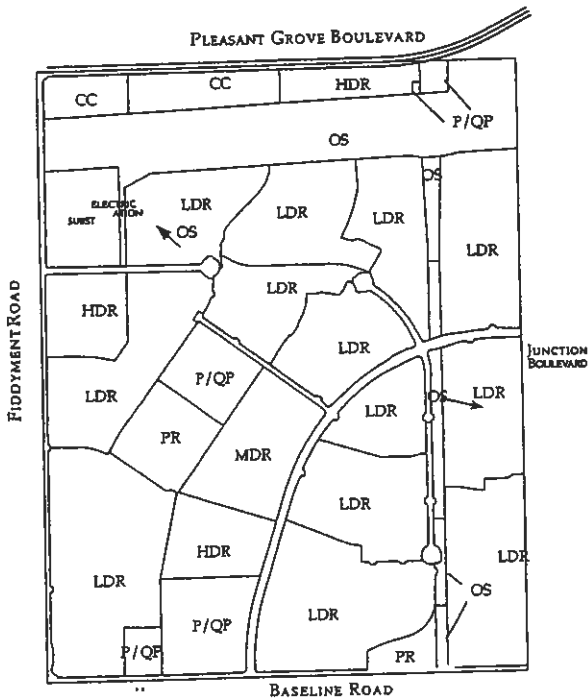
FIGURE 2-1
PLAN AREA LAND USE MAP

NEIGHBORHOOD A
PHASE 1
DIAMOND CREEK
ESKATON VILLAGE

NEIGHBORHOOD E
PHASE 3
DOCTORS RANCH

NEIGHBORHOOD C
PHASE 2
MOURIER 160

NEIGHBORHOOD D
PHASE 2
WOODCREEK WEST



NEIGHBORHOOD B
PHASE 1
WOODCREEK NORTH
MOURIER 140



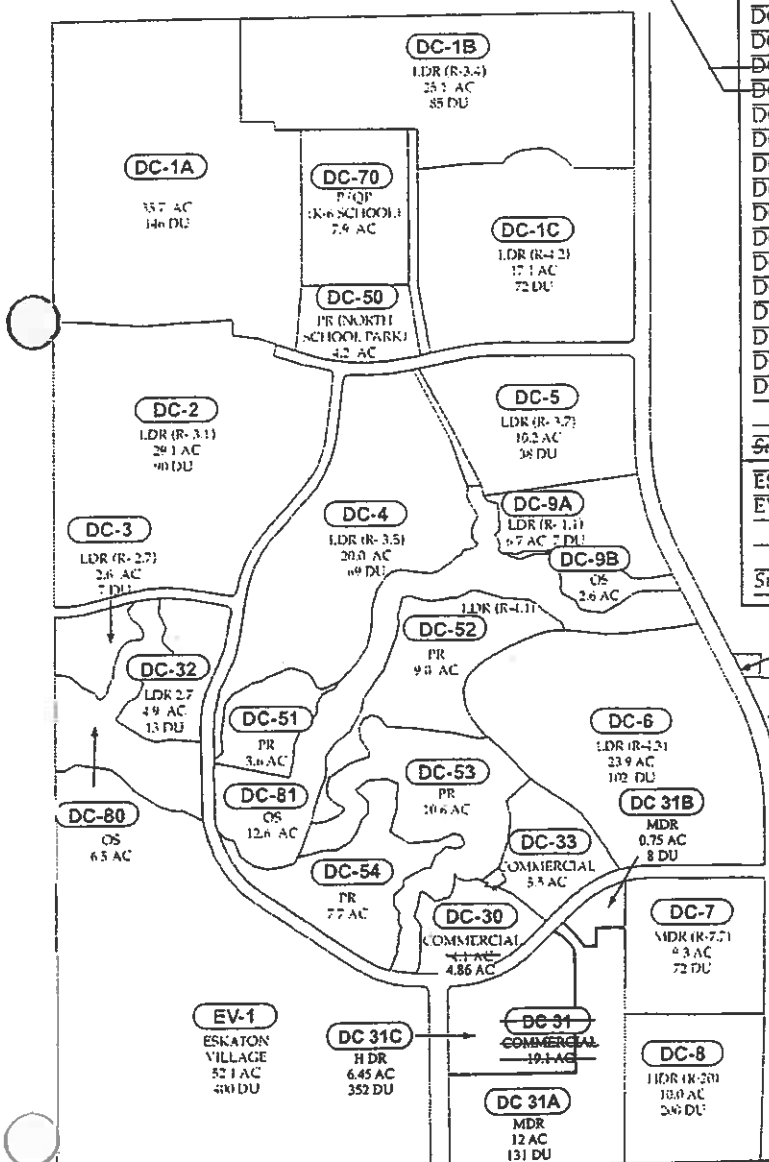
New Units?

TABLE 2-2
PHASE I: NEIGHBORHOOD A
LAND USE BY PARCEL

DC-30	CC/SA	Community Commercial	4.86		
DC-31A	RS/DS	MDR (rezoned)	10.6	12.0	131
DC-31B	R3	MDR (rezoned)	10.7	0.75	8
DC-31C	CC/SA	HDR (rezoned)	54	6.45	352

FIGURE 2-2
PHASE I NEIGHBORHOOD A LAND-USE MAP

ESKATON VILLAGE ROSEVILLE, DIAMOND CREEK					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acreage	Units
DIAMOND CREEK					
DC-1A	R1	LDR	4.1	35.7	146
DC-1B	R1	LDR	3.4	25.1	85
DC-1C	R2	LDR	4.2	17.1	72
DC-2	R1	LDR	3.1	29.1	90
DC-3	R1	LDR	2.7	2.6	7
DC-4	R1	LDR	3.5	20.0	69
DC-5	R1	LDR	3.7	10.2	38
DC-6	RS	LDR	4.3	23.9	102
DC-7	RS/DS	MDR	7.7	9.3	72
DC-8	R3	HDR	20.0	10.0	200
DC-9A	R1/SA	LDR	1.1	6.7	7
DC-9B	OS	Open Space		2.6	
DC-30	CC/SA	Community Commercial	4.86		
DC-31	CC	Community Commercial	19.1		
DC-32	R-1	LDR (rezoned)	2.7	4.9	13
DC-33	CC/SA	Community Commercial	5.5		
DC-50	PR	North School Park	4.2		
DC-51	PR	Diamond Creek Park	3.6		
DC-52	PR	Diamond Creek Park	9.0		
DC-53	PR	Diamond Creek Park	10.6		
DC-54	PR	Diamond Creek Park	7.7		
DC-70	P/QP	Elementary School	7.9		
DC-80	OS	Open Space		6.5	
DC-81	OS	Open Space		12.6	
DC-90	P/QP	Electric Substation	1.0		
DC-91	P/QP		0.3		
		ROW - Diamond Creek		23.8	
Subtotal Diamond Creek				313.1	901
ESKATON					
EV-1		Eskaton Village			
	CC/SA	Community Commercial	52.1		363
		ROW - Eskaton	0.0		
Subtotal Attached Housing Units				52.1	363



Subtotal Diamond Creek 314.0 1,392

BLUE OAKS BOULEVARD

within Eskaton Village.

Processing Administrative Design-Review Permits will be performed in accordance with the procedures outlined in Article V of the Zoning Ordinance and as described herein.

The decision to issue an administrative design-review permit will be based on a determination of a development proposal consistency with the Master Plan. This determination shall be made by the approving authority (Planning Director), and will be based on the following factors:

- Land Use and Zoning
- Master Plan Components
- Intensity Thresholds and Infrastructure Sequencing
- Design Guidelines and Development Standards
- EIR Mitigation Measures
- Development Agreement Provisions

If, after reviewing the proposed project for consistency with the provisions of the Master Plan, the Planning Director determines that the proposal is inconsistent with or gives rise to issues that were not addressed by the Master Plan, the proposed project may be referred to the Planning Commission as the appropriate approving authority.

2.2.2.2 Community Commercial Land Use

Land Use: Community Commercial

Zoning: CC, CC/SA, CMU/SA

Zoning: CC, CC/SA

Purpose/Intent

28.6

a portion of DC-31C,

A total of ~~41.3~~ acres on 5 sites in Phase 1 (Parcels DC-30, ~~DC-31~~, DC-33, M-30, M-31), and two sites totalling 15.6 acres in Phase 2 (Parcels WW-40 and WW-41) are planned for community commercial land use. This land use is intended to provide a mix of shops and services to meet the daily shopping needs of the residents and employees in the plan area. It is assumed that ~~Parcel DC-31~~ and DC-33 will develop
Parcels DC-30, DC-31C

residential, in a mix of commercial and business-professional uses. Sites that abut parks or open-space areas provide opportunities to utilize design that integrates the commercial/business- professional use with the adjacent environment, including pedestrian linkages with adjacent neighborhoods.

Parcels WW-40 and WW-41 are relatively shallow parcels that abut the vegetative buffer and wetland compensation areas in Neighborhood D, (Woodcreek West). Neither parcel is a suitable configuration for large scale retail use and the intended uses will include smaller retail shops and services targeted to the surrounding neighborhoods. The sites will also be suitable for professional and service office uses, such as travel, insurance and real estate services.

Permitted Uses

As specified by the Community Commercial (CC) District, Section 19.12.020 of the Roseville Zoning Ordinance.

Development Standards

As specified in Commercial Zone General Development Standards, Section 19.12.030.

Amended Development CC/SA Standards:

DC-31C,

CC/SA: Affected Parcels: DC-30, DC-33, WW-41

Permitted uses for CC/SA include all those specified by CC District, Section 19.12.020 of the Roseville Zoning Ordinance, ~~except for the following use types, which are prohibited:~~ gasoline sales, auto repair, auto sales, car wash and detailing, building-material stores, fast food with drive-through, personal storage facility and transportation and communication.

2.2.3 Business-Professional Land Use

Land Use: Business-Professional

Zoning: BP

Ordinance. In addition, attached single-family residential dwellings for purchase (i.e., condominiums, town homes) are principally permitted in DC31. The following use types are prohibited: multi-family rental dwellings (i.e., apartments),

2.2 (7-104)
824

RESOLUTION NO. 06-539

SPA-000015

AMENDING THE NORTH ROSEVILLE SPECIFIC PLAN PARCEL WW-51
(3500 Baseline Road - Detention Basin)

WHEREAS, a proposal for amendment to the text of the North Roseville Specific Plan (Parcel WW-51 - 3500 Baseline Road - Detention Basin) of the City of Roseville was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on May 11, 2006; and

WHEREAS, on October 10, 2006, the City Council held a public hearing at which time the proposed amendment, with revisions, was considered; and

WHEREAS, the amendment as proposed and revised is consistent with the adopted City of Roseville General Plan; and

WHEREAS, it is the desire of this City Council to approve said amendments to the text of the North Roseville Specific Plan as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the text of the North Roseville Specific Plan (Parcel WW-51 - 3500 Baseline Road - Detention Basin) is amended as set forth in Exhibit "A."

PASSED AND ADOPTED by the Council of the City of Roseville this 4th day of October, 2006, by the following vote on roll call:

AYES COUNCILMEMBERS: Gray, Allard, Roccucci, Rockholm, Garbolino

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: None


MAYOR

ATTEST:


City Clerk

Freerun Park Detention Basin

The 3.7 acre pocket park parcel (Parcel WW-51) is intended to provide an informal recreation area and a place to exercise dogs. Facilities will include turf, tables, benches and a parking lot. A portion of the park will be fenced to permit unleashed dogs to run free. will remain undeveloped.

The park parcel is a joint use facility that will provide storm water detention. Approximately 3 acres will be landscaped to the parcel will accommodate periodic temporary flooding. Landscaping will be provided along Baseline Road in addition to a 5' wide sidewalk. A natural barrier, such as boulders, will be added along Baseline Road and Casterbridge Drive to deter off-road vehicle access. Maintenance of the site will be minimal, but can include annual mowing along the west propertyline at the adjacent residence for fire protection and clearing 50' around the outfalls on an as-needed basis. A bike trail will run through the linear greenway adjacent to the detention basin, which that extends north through the neighborhood. At the north end of the greenway, the bikeway will extend east through the existing open space and connect to Mahany Park. This adjacent greenway is a separate parcel and is maintained under the Community Facilities (Services) District.

NR

RESOLUTION NO. 06-59

SPA 0A-08

AMENDING THE NORTH ROSEVILLE SPECIFIC PLAN PARCEL WW-41

WHEREAS, a proposal for amendment to the land use map and text of the North Roseville Specific Plan (Parcel WW-41 - Paseo Del Norte) of the City of Roseville was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on January 12, 2006; and

WHEREAS, on February 1, 2006, the City Council held a public hearing at which time the proposed amendment, with revisions, was considered; and

WHEREAS, the amendment as proposed and revised is consistent with the adopted City of Roseville General Plan; and

WHEREAS, it is the desire of this City Council to approve said amendments to the land use map and text of the North Roseville Specific Plan as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the land use map and text of the North Roseville Specific Plan (Parcel WW-41 - Paseo Del Norte) is amended as set forth in Exhibit "A."

PASSED AND ADOPTED by the Council of the City of Roseville this 1st day of February, 2006, by the following vote on roll call:

AYES COUNCILMEMBERS: Allard, Roccucci, Rockholm, Garbolino

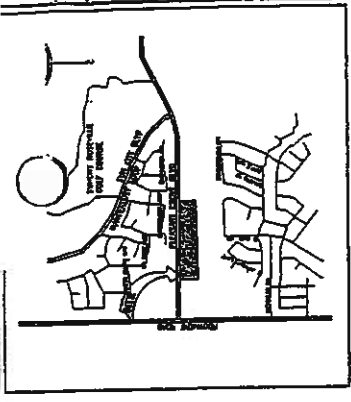
NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: Gray


MAYOR

ATTEST:


City Clerk



VICINITY MAP

OWNER
 PETER F. BOLLINGER INVESTMENT COMPANY
 540 FULTON AVENUE
 SACRAMENTO, CA 95825
 916-488-4600

ENGINEER
 MORTON & PITALO, INC.
 1768 THURBITE ROAD, SUITE 200
 SACRAMENTO, CA
 916-927-2400
 CONTACT: RICHARD MORTON

AREA
 9.7± AC.

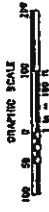
SCHOOLS
 ROSEVILLE JONKIN UNION
 HIGH SCHOOL DISTRICT
 ROSEVILLE CITY SCHOOL DISTRICT

GAS
 PACIFIC GAS & ELECTRIC

APNS
 017-182-089
 (PARCEL 41)

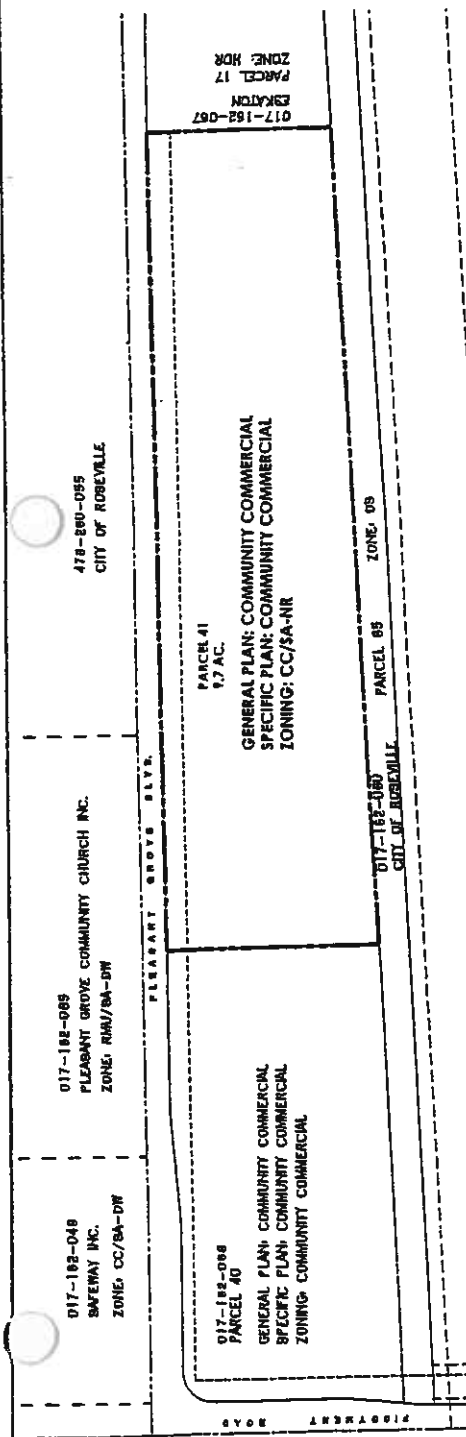
TELEPHONE
 SURE WEST TELEPHONE

CITY OF ROSEVILLE
 STORM DRAINAGE
 SANITARY SEWER
 WATER
 ELECTRICITY
 FIRE PROTECTION
 POLICE PROTECTION

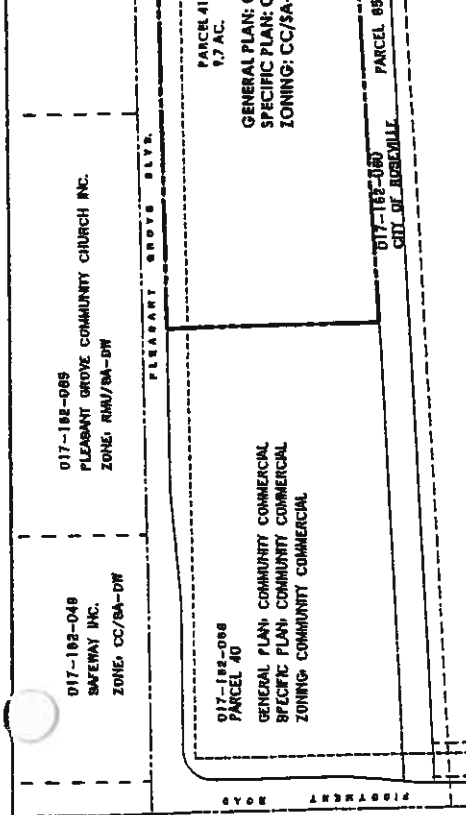


DATE	1/28/12
BY	MP
SCALE	1" = 100'
CITY OF ROSEVILLE	

EXISTING GENERAL/SPECIFIC PLAN & ZONING



PROPOSED GENERAL/SPECIFIC PLAN & ZONING



OWNER
 PETER F. BOLLINGER INVESTMENT COMPANY
 540 FULTON AVENUE
 SACRAMENTO, CA 95825
 916-488-4600

ENGINEER
 MORTON & PITALO, INC.
 1768 THURBITE ROAD, SUITE 200
 SACRAMENTO, CA
 916-927-2400
 CONTACT: RICHARD MORTON

AREA
 9.7± AC.

SCHOOLS
 ROSEVILLE JONKIN UNION
 HIGH SCHOOL DISTRICT
 ROSEVILLE CITY SCHOOL DISTRICT

GAS
 PACIFIC GAS & ELECTRIC

APNS
 017-182-089
 (PARCEL 41)

TELEPHONE
 SURE WEST TELEPHONE

CITY OF ROSEVILLE
 STORM DRAINAGE
 SANITARY SEWER
 WATER
 ELECTRICITY
 FIRE PROTECTION
 POLICE PROTECTION



DATE	1/28/12
BY	MP
SCALE	1" = 100'
CITY OF ROSEVILLE	

MORTON & PITALO, INC.
 CIVIL ENGINEERING • PLANNING • SURVEYING
 1768 Thurbite Road, Suite 200, Sacramento, CA 95811
 Phone: 916-927-2400 Fax: 916-927-2401
 www.mortonandpitalo.com

CONTRNO	R.S.
EXHIBIT	S.S.
DATE	DATE

PROJECT NAME	
SCALE	
HORIZ. 1" =	100'
VERT. 1" =	100'
DATE	
ATTD.	
DESCRIPTION	

NO.	DATE	DESCRIPTION	BY
1	1/28/12	PRELIMINARY	MP
2			
3			

NR

ADOPTING A NEGATIVE DECLARATION AND AMENDING THE NORTH ROSEVILLE SPECIFIC PLAN PARCEL DC-7 (1501 PARKSIDE WAY)

WHEREAS, a proposal for amendment to the land use map and text of the North Roseville Specific Plan (Parcel DC-7 - 1501 Parkside Way) of the City of Roseville was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on January 12, 2006; and

WHEREAS, on February 1, 2006, the City Council held a public hearing at which time the proposed amendment, with revisions, was considered; and

WHEREAS, the amendment as proposed and revised is consistent with the adopted City of Roseville General Plan; and

WHEREAS, a negative declaration has been prepared in accordance with the requirements of the California Environmental Quality Act (Public Resources Code section 21000 et seq.) and said negative declaration reflects the independent judgment of the City Council; and

WHEREAS, it is the desire of this City Council to approve said amendments to the land use map and text of the North Roseville Specific Plan as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the Council finds on the basis of the Proposed Negative Declaration, and the public comments and other documents that, if the Project is conditioned with mitigation measures as proposed, that there is no substantial evidence that the Project will have a significant effect on the environment, that the Negative Declaration reflects the independent judgment of the City of Roseville and that the Negative Declaration for this Project is hereby adopted.

BE IT FURTHER RESOLVED by the City Council of the City of Roseville that the land use map and text of the North Roseville Specific Plan (Parcel DC-7 - 1501 Parkside Way) is amended as set forth in Exhibit "A."

PASSED AND ADOPTED by the Council of the City of Roseville this 1st day of February, 2006, by the following vote on roll call:

AYES COUNCILMEMBERS: Allard, Roccucci, Rockholm, Garbolino

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: Gray


MAYOR

ATTEST:



City Clerk



TABLE 2-1
SUMMARY OF LAND USE

2. LAND USE

2.1 LAND-USE SUMMARY AND CONCEPT

2.1.1 Land-Use Summary

The North Roseville Specific Plan proposes a mix of residential neighborhoods, schools, parks, and supporting commercial land uses adjacent to a major regional employment center. The proposed land uses are predominantly residential, recreation and open space. The plan also includes sites for retail and professional services. Among these are unique opportunities for specialty retail, restaurants and office uses overlooking the natural creeks adjacent to the proposed Diamond Creek Park and Pleasant Grove Park.

The North Roseville Specific Plan Area (Phase 1, Phase 2 and Phase 3) proposes a total of 5,645 dwelling units on 1,552 acres at full build-out. Phase 1 proposes 2,509 dwelling units (including 400 attached-housing units in the Eskaton Village) on 738.4 acres. Phase 2 includes 2,466 dwelling units on 653.6 acres. Phase 3 proposes 669 dwelling units on 143.2 acres. Table 2-1 contains a summary of land uses for Phase 1, Phase 2 and Phase 3.

PHASE 1

Eskaton Village, Diamond Creek Woodcreek North and Mourier 140		
Land Use	Net Acreage	Units
Low-Density Residential (LDR)	376.6	1,706 1,663
Medium-Density Residential (MDR)	9.3	72 115
High-Density Residential (HDR)	16.4	331
Community Commercial (CC)	93.3	
Eskaton Village (52.1 ac)		400
Business Professional(BP)	4.9	
Park (PR)	79.7	
Public/Quasi-Public (P/QP)	39.5	
Open Space (OS)	80.2	
Major Road ROW	38.5	
Subtotal Phase 1	738.4	2,509

PHASE 2

Woodcreek West and Mourier 160		
Land Use	Net Acreage	Units
Low-Density Residential (LDR)	392.0	1770
Medium-Density Residential (MDR)	20.0	140
High-Density Residential (HDR)	31.6	556
Community Commercial (CC)	15.6	
Park (PR)	29.1	
Public/Quasi-Public (P/QP)	29.6	
Open Space (OS)	103.7	
Major Road (ROW)	32.0	
Subtotal Phase 2	653.6	2,466

PHASE 3

Doctors Ranch		
Land Use	Net Acreage	Units
Low-Density Residential (LDR)	143.2	669
Park (PR)	9.0	
Major Road (ROW)	7.8	
Subtotal Phase 3	160.0	669
Total Phase 1, Phase 2 & Phase 3	1,552.0	5,644

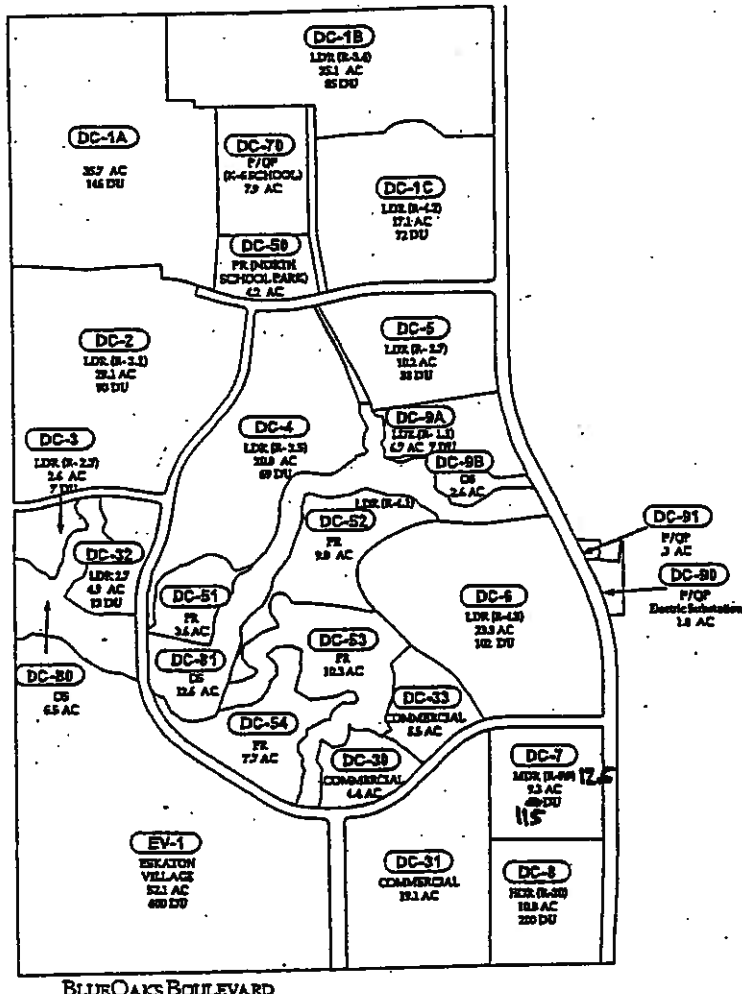
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TABLE 2-2
LAND USE BY PARCEL
PHASE 1: NEIGHBORHOOD A

FIGURE 2-2
LAND USE MAP
PHASE 1: NEIGHBORHOOD A



Eskaton Village Roseville, Diamond Creek					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acreage	Units
DIAMOND CREEK					
DC-1A	R1	LDR	4.6	57.3	261
DC-1B	R1	LDR	4.7	21.2	100
DC-2	R1	LDR	4.7	28.6	136
DC-3	R1	LDR	4.0	2.6	10
DC-4	R1	LDR	4.0	19.8	80
DC-5	R1	LDR	4.2	10.9	46
DC-6	RS	LDR	5.0	23.9	120
DC-7	RS/DS	MDR	12.5	9.3	72
DC-8	R3	HDR	20.0	10.0	200
DC-9A	R1/SA	LDR	1.2	6.0	7
DC-9B	OS	Open Space		2.6	
DC-30	CC/SA	Community Commercial		4.4	
DC-31	CC	Community Commercial		19.1	
DC-32	R1	LDR		4.9	13
DC-33	CC/SA	Community Commercial		4.9	
DC-50	FR	North School Park		4.2	
DC-51	FR	Diamond Creek Park		3.6	
DC-52	FR	Diamond Creek Park		9.0	
DC-53	FR	Diamond Creek Park		10.3	
DC-54	FR	Diamond Creek Park		7.7	
DC-70	F/QP	Elementary School		7.9	
DC-80	OS	Open Space		6.5	
DC-81	OS	Open Space		13.1	
DC-90	F/QP	Electric Substation		1.0	
DC-91	F/QP			0.3	
		ROW - Diamond Creek		23.8	
Subtotal Diamond Creek				312.9	1,832
ESKATON					
EV-1	Eskaton Village				
	CC/SA	Attached Housing		52.1	400
		ROW - Eskaton		0.0	
Subtotal Attached Housing Units				52.1	400

Page 06-57
 273

- Horse exhibition facilities such as clinics and seminars, but not competitive events such as horse racing or rodeos
- Other uses requiring a business license, including ranch office

The uses associated with the Commercial Recreation use type, as defined above, shall occur on a parcel not less than 3 acres in size, exclusive of privately owned open space.

The equestrian facility shall be limited to a maximum attendance, at any one time, of 25 people. Up to 75 people at any one time, a maximum of four times a year, may also be permitted. Attendance exceeding either 75 people or 4 times per year may be permitted subject to approval of a conditional use permit.

Development Standards

As specified by the Residential Zone General Development Standards, for R1 Section 19.10.030 and OS, and Title 7 of the RMC. An Administrative Permit is required for all accessory buildings or structures in excess of 700 square feet, consistent with Chapter 19.22 of the Zoning Ordinance.

2.2.1.3 Medium-Density Residential Land Use

Land Use: Medium-Density Residential (7.0-12.9 du/acre)

Zoning: RS/DS

Purpose/Intent

115 The Medium-Density Residential (MDR) category includes dwelling units in configurations of 7.0 to 12.9 dwelling units per gross acre. The plan proposes 72 MDR dwelling units on 9.3 acres within Phase 1, and 140 MDR dwelling units on 16.9 acres in Phase 2. Dwelling units in this density range typically include detached unit types; however, attached units on small lots are also possible. Some examples of detached dwellings on small lots would include cottage housing.

Permitted Uses

As specified by the Small Lot Residential (RS) District, Section 19.10.020 of the Roseville Zoning Ordinance.

Development Standards

RS Affected Parcels: DC-7, WW-14

It is anticipated that a project may be proposed that varies from the RS Development Standards as specified in the Roseville Zoning Ordinance Section 19.10.030 or the Supplemental RS Design Standards as specified in the Roseville Zoning Ordinance, Section 19.10.040. Because of the product variability possible within this density range, it is difficult to predict deviations to the RS zone at the Specific Plan stage, although deviations are anticipated. Development standards and/or the Supplemental Design Standards for these properties will be established through the processing of a DRRS concurrent with the tentative map for each parcel and may include deviations to lot area and usable rear yard.

2.2.1.4 High-Density Residential Land Use

Land Use: High-Density Residential (13.0 du/acre and above)

Zoning: R3

Purpose/Intent

The High-Density Residential (HDR) category includes dwelling units in configurations of 13.0 dwelling units per gross acre and above, typically apartments. The plan proposes 331 HDR dwelling units on 16.4 acres within Phase 1, and 556 dwelling units on 31.6 acres in Phase 2.

Permitted Uses

As specified by the Attached Housing R3 District, Section 19.10.020 of the Roseville Zoning Ordinance.

TABLE 3-1
PHASE 1 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Eskaton	EV-1	HDR	R3/SA	400	40	30		10
Mourier 140	M-1	HDR	R3	131	118	118		
Mourier 140	M-3	LDR	RS/DS	115	5			5
Diamond Creek	DC-7	MDR	RS/DS	157	65		40	25
Diamond Creek	DC-8	HDR	R3	200	26	26		
Woodcreek North	WN-4	LDR	R1/DS	142	22		22	
Woodcreek North	WN-5	LDR	RS/DS	136	34		21	13
TOTAL UNITS IN PHASE 1: 2509 x 10% =				251	310	174	83	53
AFFORDABLE UNITS = 10% OF ALL UNITS IN PHASE 1								

TABLE 3-2
PHASE 2 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Walaire 160	W-2	LDR	RS/DS	52	11			11
Woodcreek West	WW-14	MDR	RS	140	46			46
Woodcreek West	WW-16	HDR	R3	224	45	45		
Woodcreek West	WW-17	HDR	R3/SA	110	110	110		
TOTAL UNITS IN PHASE 2: 2,466 x 10% =				247	212	155		57

TABLE 3-3
PHASE 3 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Doctors Ranch	DR-1	LDR	R1/DS	60	17			17
TOTAL UNITS IN PHASE 3: 669 x 10% =				67	17			17

NOTE: The City and landowners have negotiated Affordable Housing credits to achieve the required number of affordable housing units based on the following: an increased percentage of affordable housing units for low income purchase units; an increase from 15 years to 30 years the term that affordability is required to be maintained on certain affordable units; and no City subsidy is required to achieve the low income rental units.

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RESOLUTION NO. 05-273

AMENDING THE TEXT OF THE
NORTH ROSEVILLE SPECIFIC PLAN PARCEL EV-1
(ESKATON VILLAGE - 10001 DIAMOND CREEK BOULEVARD)

WHEREAS, a proposal for amendment to the text of the North Roseville Specific Plan of the City of Roseville was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on May 12, 2005; and

WHEREAS, on June 1, 2005, the City Council held a public hearing at which time the proposed amendment was considered; and

WHEREAS, the amendment as proposed is consistent with the adopted City of Roseville General Plan; and

WHEREAS, it is the desire of this City Council to approve said amendments to the text of the North Roseville Specific Plan as conducive to public health, safety and welfare, and consistent with the land use practices of the City,


NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the text of the Specific Plan is hereby amended as set forth in Exhibit "A" hereto.

PASSED AND ADOPTED by the Council of the City of Roseville this 1st day of June, 2005, by the following vote on roll call:

AYES COUNCILMEMBERS: Allard, Roccucci, Gray, Rockholm, Garbolino

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: None


MAYOR

ATTEST:


City Clerk



2. LAND USE

2.1 LAND-USE SUMMARY AND CONCEPT

2.1.1 Land-Use Summary

The North Roseville Specific Plan proposes a mix of residential neighborhoods, schools, parks, and supporting commercial land uses adjacent to a major regional employment center. The proposed land uses are predominantly residential, recreation and open space. The plan also includes sites for retail and professional services. Among these are unique opportunities for specialty retail, restaurants and office uses overlooking the natural creeks adjacent to the proposed Diamond Creek Park and Pleasant Grove Park.

The North Roseville Specific Plan Area (Phase 1, Phase 2 and Phase 3) proposes a total of 5,645 dwelling units on 1,552 acres at full build-out. Phase 1 proposes 2,341 2,364 dwelling units (including 363 386 attached and detached housing units in the Eskaton Village) on 738.4 acres. Phase 2 includes 2,298 dwelling units on 653.6 acres. Phase 3 proposes 715 dwelling units on 143.2 acres. Table 2-1 contains a summary of land uses for Phase 1, Phase 2 and Phase 3.

TABLE 2-1
SUMMARY OF LAND USE

PHASE 1

Eskaton Village, Diamond Creek Woodcreek North and Mourier 140		
Land Use	Net Acreage	Units
Low-Density Residential (LDR)	376.6	1,706
Medium-Density Residential (MDR)	9.3	72
High-Density Residential (HDR)	16.4	331
Community Commercial (CC)	93.3	
Eskaton Village (52.1 ac)		<u>363 386</u>
Business Professional (BP)	4.9	
Park (PR)	79.7	
Public/Quasi-Public (P/QP)	39.5	
Open Space (OS)	80.2	
Major Road ROW	38.5	
Subtotal Phase 1	738.4	<u>2,341 2,364</u>

PHASE 2

Woodcreek West and Mourier 160		
Land Use	Net Acreage	Units
Low-Density Residential (LDR)	392.0	1770
Medium-Density Residential (MDR)	20.0	140
High-Density Residential (HDR)	31.6	556
Community Commercial (CC)	15.6	
Park (PR)	29.1	
Public/Quasi-Public (P/QP)	29.6	
Open Space (OS)	103.7	
Major Road (ROW)	32.0	
Subtotal Phase 2	653.6	2,466

PHASE 3

Doctors Ranch		
Land Use	Net Acreage	Units
Low-Density Residential (LDR)	143.2	669
Park (PR)	9.0	
Major Road (ROW)	7.8	
Subtotal Phase 3	160.0	669
Total Phase 1, Phase 2 & Phase 3	1,552.0	<u>5,354 5,377</u>

2.1.2 Land-Use Concept

The land use is intended to reinforce neighborhood identity and sense of community, through special characteristics and distinct attributes:

Neighborhood Organization

The organization of the plan is established in each neighborhood through the mix of residential and neighborhood-support uses. The neighborhoods include single-family and multi-family dwellings, senior housing, schools, open space, commercial, business-professional, parks and service uses. Schools, parks and neighborhood commercial centers serve as focal points and activity centers. Neighborhoods are defined by creeks and major streets that provide clear organization and order.

Pedestrian and Public Transit Access

The neighborhoods are small (less than one mile in their longest dimension) providing residents the opportunity to walk to open space, schools, parks and neighborhood commercial centers without crossing major arterial streets. An extensive pedestrian network is intended to encourage pedestrian and bicycle use throughout the neighborhoods. The potential for public transit to effectively serve the plan area is enhanced by locating the highest housing density, senior housing and the neighborhood commercial areas near collector and arterial roadways.

Preservation/Enhancement of Open Space

The oak woodlands and creek corridors will be the signature elements of the plan. These creeks provide visual and recreational amenities, natural resource preservation and enhancement, natural drainage, and a key component of the pedestrian and bike pathway system. Access or views to open space is a key consideration of the plan and is encouraged through single-loaded street design and cul-de-sac openings adjacent to open-space areas. Pedestrian access corridors, pedestrian promenades, and enhanced

landscaped corridors are also provided to facilitate pedestrian access to open space.

Eskaton Village

Eskaton Village, Roseville, will be a campus-like setting encompassing several levels of residential and institutional services for seniors in a manner that supports wellness, encourages independence and enhances the continuum of care. Proposed accommodations, include single- and multi-story configurations, connected by interior roads and walking paths within ~~clustered or attached residences~~ single-family attached and detached residents apartments, assisted-living apartments, a nursing facility and an adult day-care center. A community center, forming the hub of the campus, will house major common areas and administrative offices. Landscaped grounds will encourage both active (e.g. walking, croquet, gardening) and passive (observational) recreation.

residences

The land use map and table for each neighborhood are provided in Figures and Tables 2-2, 2-3, 2-4, 2-5 and 2-6.

2.2 PERMITTED USES AND DEVELOPMENT STANDARDS

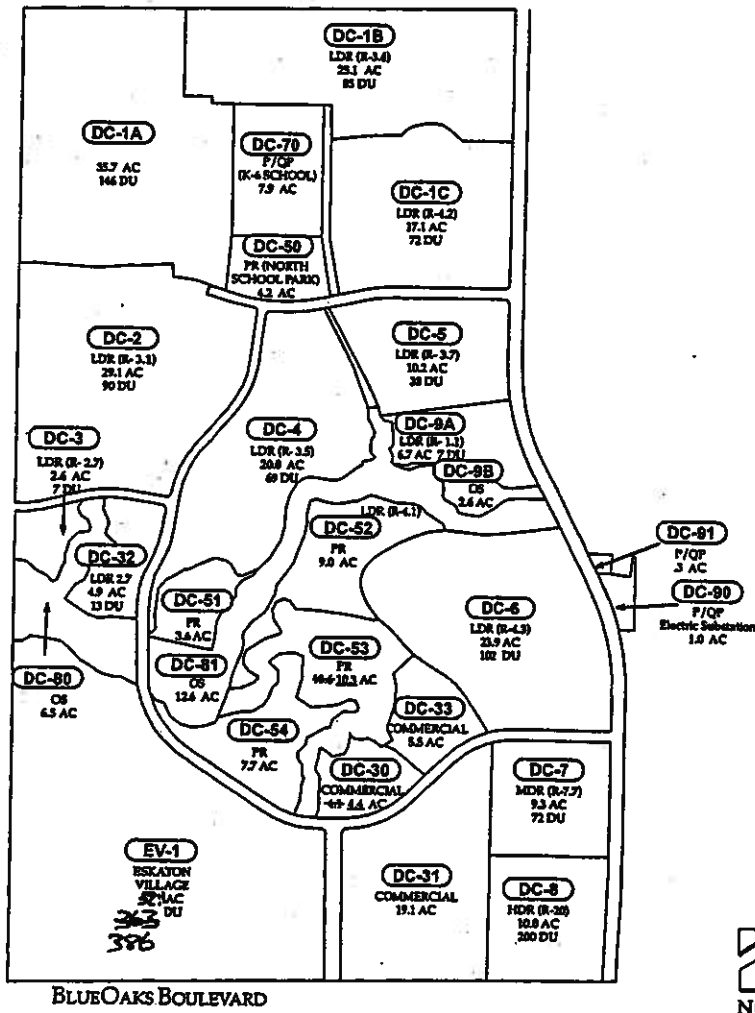
Permitted, conditionally permitted and administratively permitted uses for each NRSP Parcel shall be as provided by the zoning assigned to each parcel, pursuant to the Roseville Zoning Ordinance.

Exceptions to Permitted Uses

Permitted uses on the Eskaton Village (Parcel EV-1), Parcels DC-30, DC-33, DC-9A, WW-17 and WW-41 are exceptions, and have been modified from the Zoning Ordinance general district by the provision of the Special Area Overlay District (SA). This overlay district allows for the modification of the general district regulations (including both permitted-use types and development standards) by reference to regulations adopted in the ordinance rezoning the

TABLE 2-2
LAND USE BY PARCEL
PHASE I: NEIGHBORHOOD A

FIGURE 2-2
LAND USE MAP
PHASE I: NEIGHBORHOOD A



Eskaton Village Roseville, Diamond Creek					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acreage	Units
DIAMOND CREEK					
DC-1A	R1	LDR	4.6	57.3	261
DC-1B	R1	LDR	4.7	21.2	100
DC-2	R1	LDR	4.7	28.6	136
DC-3	R1	LDR	4.0	2.6	10
DC-4	R1	LDR	4.0	19.8	80
DC-5	R1	LDR	4.2	10.9	46
DC-6	RS	LDR	5.0	23.9	120
DC-7	RS/DS	MDR	7.7	9.3	72
DC-8	R3	HDR	20.0	10.0	200
DC-9A	R1/SA	LDR	1.2	6.0	7
DC-9B	OS	Open Space		2.6	
DC-30	CC/SA	Community Commercial		4.4	
DC-31	CC	Community Commercial		19.1	
DC-32	BP	Business-Professional		4.9	
DC-33	CC/SA	Community Commercial		4.9	
DC-50	PR	North School Park		4.2	
DC-51	PR	Diamond Creek Park		3.6	
DC-52	PR	Diamond Creek Park		9.0	
DC-53	PR	Diamond Creek Park		10.3	
DC-54	PR	Diamond Creek Park		7.7	
DC-70	P/QP	Elementary School		7.9	
DC-80	OS	Open Space		6.5	
DC-81	OS	Open Space		13.1	
DC-90	P/QP	Electric Substation		1.0	
DC-91	P/QP			0.3	
				ROW - Diamond Creek	23.8
Subtotal Diamond Creek				312.9	1,032
ESKATON					
EV-1	Eskaton Village				
	CC/SA	Attached Housing		52.1	386
		ROW - Eskaton		0.0	
Subtotal Attached Housing Units				52.1	

detached

those transitioning to, or in need of, some level of assisted living or continuing care.

Proposed accommodations will include clustered or attached residences, apartment residences, assisted living apartments, a nursing facility and an adult day care center. The buildings will be in single and multi-story configurations and connected by interior roads and walking paths. A community center, forming the hub of the campus, will house major common areas and administrative offices. Landscaped grounds will encourage both active (e.g., walking, croquet, gardening) and passive (observational) recreation.

Permitted Uses

Eskaton Village, Roseville, has a zone district of Community Commercial/Special Area (CC/SA) reflective of the variety and specialized nature of uses associated with the facility. This includes the residential units permitted in the CC zone district. This SA overlay eliminates some permitted CC use types that are not compatible with the facility, and permits use types that are compatible and that would otherwise require conditional use permits. The CC/SA zone for Eskaton will permit the use types listed in Table 2-10.

The zone is specifically intended to permit the following uses or activities:

- Up to ~~363~~ 386 attached and detached dwelling units.
- Up to two hundred (200) assisted-living units.
- Up to one hundred (100)-bed skilled nursing facility.
- Day-care center including an adult day health care center with an average daily attendance of sixty (60) clients.
- Home health-care agency.
- Administrative offices.
- Recreation facilities such as a fitness center.
- Ancillary uses such as:
 - Hosting classes for the larger Roseville community on topics of interest to elders and care givers.
 - Corporate Offices.

- Use of meeting rooms by public and not-for-profit organizations.
- Outpatient continuing therapy following discharge from the nursing facility.

Development Standards

Development standards for the CC/SA zone will be the same as for the Commercial Zone General Development Standards (Section 19.12.030) except that increased building heights may be permitted pursuant to the Master Plan process defined herein, in order to minimize the interior walking distance to elevators. Supplemental design requirements are included in the Design Guidelines for this Specific Plan.

Eskaton Village will be developed in increments over time. It is intended that the development be consistent with an overall Master Plan. The Master Plan will be

*TABLE 2-10
PERMITTED USES IN THE CC/SA ZONE
ESKATON VILLAGE*

AGRICULTURAL & OPEN SPACE USE TYPES		CC/SA-NR
Resource Protection & Restoration		P
Resource Related Recreation		P
RESIDENTIAL USE TYPES		CC/SA-NR
Caretaker/Employee Housing		P
Community Care Facility, Large		P
Congregate Residence		P
Dwelling, Multi-Family		P
Dwelling, Single-Family		P
COMMERCIAL USE TYPES		CC/SA-NR
Banks & Financial Services		P
Private Recreation		
	Indoor Entertainment	P
	Indoor Sports & Recreation	P
	Outdoor Entertainment	P
	Outdoor Sports & Recreation	P
Community Care Facility		P
Dependent Day-Care Centers		P
Long Term Care Facility		P
Medical Services, General		P
Offices, Professional		P
Personal Services		P



3. HOUSING

3.1 HOUSING OBJECTIVE

The North Roseville Specific Plan proposes development of dwelling units in a variety of types and densities. The plan includes ~~2,341~~ 2,364 dwelling units in Phase 1, 2,298 dwelling units in Phase 2 and 715 dwelling units in Phase 3. The objective of the Specific Plan housing program is to satisfy the General Plan goal that ten percent (10%) of new housing be affordable to very low, low, and middle income residents.

3.2 HOUSING AFFORDABILITY PROGRAM

The North Roseville Specific Plan complies with the General Plan Housing Element by designating ten percent (10%) of the proposed housing stock affordable to very low, low and middle income households. The affordable-housing program will include a mix of:

- Purchase Housing Affordable to Middle-Income Households (81% to 100% of Median)
- Purchase Housing Affordable to Low-Income Households (70% to 80% of Median)
- Rental Housing Affordable to Low-Income Households (51% to 80% of Median)
- Rental Housing Affordable to Very Low-Income Households (less than 50% of Median)

Approximately twenty-five percent of the affordable housing requirement will be met through purchase housing affordable to middle-income residents. Approximately seventy-five percent of the affordable housing requirement will be provided through a combination of purchase and rental housing affordable to low-and very low-income residents.

The affordable dwellings will be designated in all neighborhoods in order to achieve a distribution throughout the plan area.

Property owners will enter into supplemental affordable-housing development agreement or other form as required by the City, that set the initial rent or purchase price for low and middle-income households, establish the criteria and basis for annual rent or purchase-price increases, and provide the City a method to monitor the rents and purchase price paid by low-income households.

The affordable housing allocation under each Phase is shown in Tables 3-1, 3-2 and 3-3.

3.2.1 Purchase Housing Affordable to Low-and Middle-Income Households

Phase 1 of the NRSP makes provision for 83 single-family purchase units designated for low-income households, and 53 single-family purchase units designated for participation in the middle-income component of Roseville's Housing Affordability program. Phase 2 will provide no single-family, low-income purchase units and 57 middle-income purchase units. Phase 3 will provide no single-family, low-income purchase units and 17 middle-income purchase units. These low-income and middle-income affordable units have been allocated to specific parcels as set forth in Tables 3-1, 3-2 and 3-3.

Dwelling units identified for single-family purchase housing are designated on specific parcels to be

TABLE 6-2
SUMMARY OF PARK AREA REQUIRED AND PROVIDED FOR THE ENTIRE PLAN AREA
(PHASE 1, 2 AND 3)

	Phase 1	Phase 2	Phase 3	TOTAL
Total Park Area Required	50.1	552.6	16.4	119.1
Credited Park Area Provided	88.44	35.43	9.0	132.9

TABLE 6-3
SUMMARY OF PARK AREA CALCULATION

	PHASE 1				PHASE 2		PHASE 3
	Woodcreek North	Diamond Creek	Eskaton Village	Mourier 140	Woodcreek West	Mourier 160	Drs. Ranch
Rezoned Area Total Acreage	232.9	308.8	52.1	140.5	492.6	161.0	160.0
Total Units	566	901	363 386	511	1,919	380	716
All Residential Units (less Eskaton)	566	901		511	1,919	380	716
Population	1,438	2,289	579	1,298	4,874	965	1,819
Required Total Park Acreage (.009 ac/ resident)	12.9	220.6	4.9 5.2	11.7	43.9	8.7	16.4
Open Space	45.4	19.6	0.0	13.4	57.3	35.6	0.0
Proposed Net Active Park Acreage	42.8	35.1	0.0	2.7	12.7	13.4	9.0
Proposed Total Park and Open-Space Acreage	88.2	54.7	0.0	16.1	70.0	49.0	9.0
Park Acreage Credit (See Table 6-4)	47.34	37.1	0.0	4.0	18.43	17.0	9.0

RESOLUTION NO. 04-63

SPA 03-05

NRSP

AMENDING THE NORTH ROSEVILLE SPECIFIC PLAN
PARCELS 30 AND 53 - DIAMOND CREEK COMMERCIAL
(1600 PARKSIDE WAY)

WHEREAS, a proposal for amendment to the land use map and text of the North Roseville Specific Plan of the City of Roseville was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on January 22, 2004; and

WHEREAS, on February 18, 2004, the City Council held a public hearing at which time the proposed amendment was considered; and

WHEREAS, the amendment as proposed is consistent with the adopted City of Roseville General Plan; and

WHEREAS, it is the desire of this City Council to approve said amendments to the text of the North Roseville Specific Plan as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the text of the North Roseville Specific Plan is amended as set forth in Exhibit "A", also attached; and be it

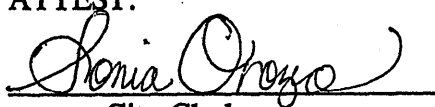
PASSED AND ADOPTED by the Council of the City of Roseville this 23rd day of February, 2004, by the following vote on roll call:

AYES COUNCILMEMBERS: John Allard, Richard Roccucci, Jim Gray, Gina Garbolino, Rocky Rockholm

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: None


MAYOR

ATTEST:

City Clerk



2. LAND USE

2.1 LAND-USE SUMMARY AND CONCEPT

2.1.1 Land-Use Summary

The North Roseville Specific Plan proposes a mix of residential neighborhoods, schools, parks, and supporting commercial land uses adjacent to a major regional employment center. The proposed land uses are predominantly residential, recreation and open space. The plan also includes sites for retail and professional services. Among these are unique opportunities for specialty retail, restaurants and office uses overlooking the natural creeks adjacent to the proposed Diamond Creek Park and Pleasant Grove Park.

The North Roseville Specific Plan Area (Phase 1, Phase 2 and Phase 3) proposes a total of 5,645 dwelling units on 1,552 acres at full build-out. Phase 1 proposes 2,509 dwelling units (including 400 attached-housing units in the Eskaton Village) on 738.4 acres. Phase 2 includes 2,466 dwelling units on 653.6 acres. Phase 3 proposes 669 dwelling units on 143.2 acres. Table 2-1 contains a summary of land uses for Phase 1, Phase 2 and Phase 3.

**TABLE 2-1
SUMMARY OF LAND USE**

PHASE 1

Eskaton Village, Diamond Creek Woodcreek North and Mourier 140		
<i>Land Use</i>	<i>Net Acreage</i>	<i>Units</i>
Low-Density Residential (LDR)	381.5	1,575
Medium-Density Residential (MDR)	9.3	72
High-Density Residential (HDR)	16.4	331
Community Commercial (CC)	93.6	
Eskaton Village (52.1 ac)		363
Park (PR)	79.4	
Public/Quasi-Public (P/QP)	39.5	
Open Space (OS)	80.2	
Major Road ROW	38.5	
Subtotal Phase 1	738.4	2,341

PHASE 2

Woodcreek West and Mourier 160		
<i>Land Use</i>	<i>Net Acreage</i>	<i>Units</i>
Low-Density Residential (LDR)	392.0	1,697
Medium-Density Residential (MDR)	20.0	232
High-Density Residential (HDR)	31.6	369
Community Commercial (CC)	15.6	
Park (PR)	29.1	
Public/Quasi-Public (P/QP)	29.6	
Open Space (OS)	103.7	
Major Road (ROW)	32.0	
Subtotal Phase 2	653.6	2,298

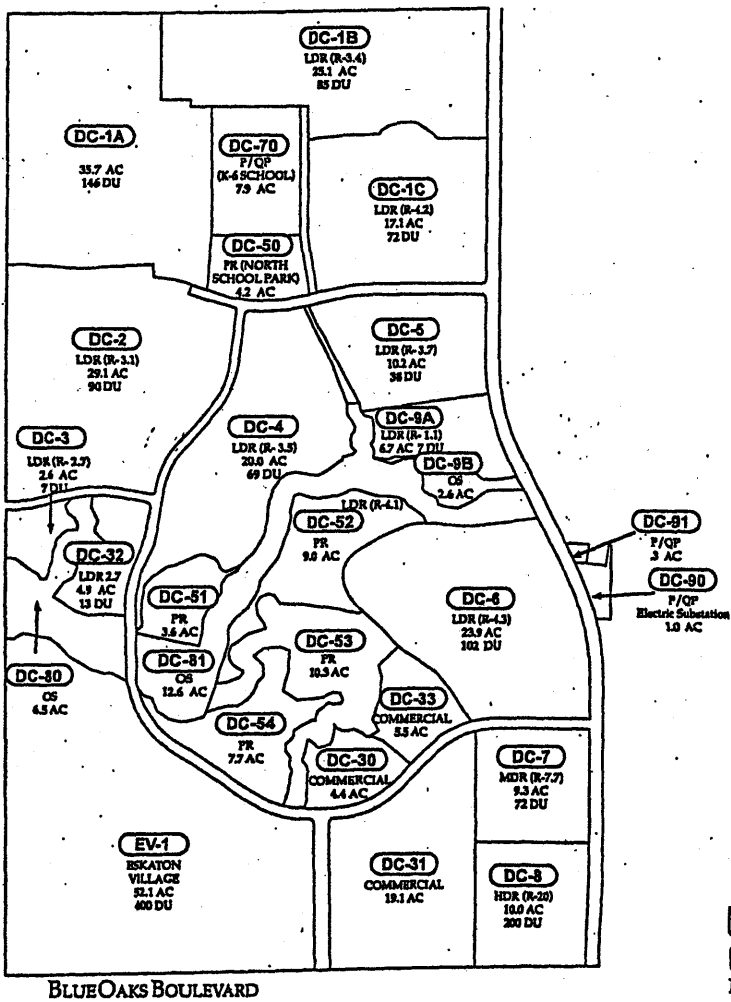
PHASE 3

Doctors Ranch		
<i>Land Use</i>	<i>Net Acreage</i>	<i>Units</i>
Low-Density Residential (LDR)	141.8	715
Park (PR)	9.0	
Major Road (ROW)	9.2	
Subtotal Phase 3	160.0	715
Total Phase 1, Phase 2 & Phase 3	1,552.0	5,354

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TABLE 2-2
 LAND USE BY PARCEL
 PHASE 1: NEIGHBORHOOD A

FIGURE 2-2
 LAND USE MAP
 PHASE 1: NEIGHBORHOOD A



Eskaton Village Roseville, Diamond Creek					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acreage	Units
DIAMOND CREEK					
DC-1A	R1	LDR	4.6	57.3	261
DC-1B	R1	LDR	4.7	21.2	100
DC-2	R1	LDR	4.7	28.6	136
DC-3	R1	LDR	4.0	2.6	10
DC-4	R1	LDR	4.0	19.8	80
DC-5	R1	LDR	4.2	10.9	46
DC-6	RS	LDR	5.0	23.9	120
DC-7	RS/DS	MDR	7.7	9.3	72
DC-8	R3	HDR	20.0	10.0	200
DC-9A	R1/SA	LDR	1.2	6.0	7
DC-9B	OS	Open Space		2.6	
DC-30	CC/SA	Community Commercial		4.4	
DC-31	CC	Community Commercial		19.1	
DC-32	BP	Business-Professional		4.9	
DC-33	CC/SA	Community Commercial		4.9	
DC-50	PR	North School Park		4.2	
DC-51	PR	Diamond Creek Park		3.6	
DC-52	PR	Diamond Creek Park		9.0	
DC-53	PR	Diamond Creek Park		10.3	
DC-54	PR	Diamond Creek Park		7.7	
DC-70	P/QP	Elementary School		7.9	
DC-80	OS	Open Space		6.5	
DC-81	OS	Open Space		13.1	
DC-90	P/QP	Electric Substation		1.0	
DC-91	P/QP			0.3	
ROW - Diamond Creek				23.8	
Subtotal Diamond Creek				312.9	1,032
ESKATON					
EV-1	Eskaton Village				
	CC/SA	Attached Housing		52.1	400
		ROW - Eskaton		0.0	
Subtotal Attached Housing Units				52.1	400

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development application submitted on the property, and will establish specific design standards and guidelines. The approval of a Master Plan is intended to allow for a streamlined City administrative review and approval process for subsequent development within Eskaton Village.

Processing Administrative Design-Review Permits will be performed in accordance with the procedures outlined in Article V of the Zoning Ordinance and as described herein.

The decision to issue an administrative design-review permit will be based on a determination of a development proposal consistency with the Master Plan. This determination shall be made by the approving authority (Planning Director), and will be based on the following factors:

- Land Use and Zoning
- Master Plan Components
- Intensity Thresholds and Infrastructure Sequencing
- Design Guidelines and Development Standards
- EIR Mitigation Measures
- Development Agreement Provisions

If, after reviewing the proposed project for consistency with the provisions of the Master Plan, the Planning Director determines that the proposal is inconsistent with or gives rise to issues that were not addressed by the Master Plan, the proposed project may be referred to the Planning Commission as the appropriate approving authority.

2.2.2.2 Community Commercial Land Use

Land Use: Community Commercial

Zoning: CC, CC/SA

Purpose/Intent

A total of 41.6 acres on 5 sites in Phase 1 (Parcels DC-30, DC-31, DC-33, M-30, M-31), and two sites totalling 15.6 acres in Phase 2 (Parcels WW-40 and

WW-41) are planned for community commercial land use. This land use is intended to provide a mix of shops and services to meet the daily shopping needs of the residents and employees in the plan area. It is assumed that Parcel DC-31 and DC-33 will develop in a mix of commercial and business-professional uses. To reflect this likelihood, the North Roseville Specific Plan EIR assumes that Parcel DC-31 and DC-33 will develop with approximately 55% commercial use and 45% business-professional use. Sites that abut parks or open-space areas provide opportunities to utilize design that integrates the commercial/business-professional use with the adjacent environment, including pedestrian linkages with adjacent neighborhoods.

Parcels WW-40 and WW-41 are relatively shallow parcels that abut the vegetative buffer and wetland compensation areas in Neighborhood D, (Woodcreek West). Neither parcel is a suitable configuration for large scale retail use and the intended uses will include smaller retail shops and services targeted to the surrounding neighborhoods. The sites will also be suitable for professional and service office uses, such as travel, insurance and real estate services.

Permitted Uses

As specified by the Community Commercial (CC) District, Section 19.12.020 of the Roseville Zoning Ordinance.

Development Standards

As specified in Commercial Zone General Development Standards, Section 19.12.030.

Amended Development CC/SA Standards:

CC/SA: Affected Parcels: DC-30, DC-33, WW-41

Permitted uses for CC/SA include all those specified by CC District, Section 19.12.020 of the Roseville Zoning Ordinance, except for the following use types, which are prohibited: gasoline sales, auto repair, auto

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sales, car wash and detailing, building-material stores, fast food with drive-through, personal storage facility and transportation and communication.

2.2.3 Business-Professional Land Use

Land Use: Business-Professional

Zoning: BP

Purpose/Intent

The business-professional land use is applied to Parcel DC-32, which is a unique 4.9 acre site located adjacent to Pleasant Grove Creek. The intent is to provide a small, attractive site for a professional building located among the trees and overlooking the creek. The site could also potentially accommodate a church, or similar appropriate use as specified by the Zoning Ordinance.

Permitted Uses

As specified by the Business Professional (BP) District, Section 19.12.020 of the Roseville Zoning Ordinance.

Development Standards

As specified in Commercial Zone General Development Standards, Section 19.12.030.

2.2.4 Open Space

Land Use: Open Space

Zoning: OS

Purpose/Intent

Open space defines the overall form of the plan and protects the wetlands, blue-oak woodlands and riparian areas. Primary open space encompasses 80.2 acres in Phase 1 and 103.7 acres in Phase 2. This includes open space, creek corridors, oak woodlands and pedestrian promenades.

The open-space corridors, oak woodlands, and meadows will provide attractive visual elements that

define individual neighborhoods. Large open-space corridors act as a buffer between uses, provide for off-street trails, provide view corridors, and provide opportunities for on-site wetland and tree preservation.

Opportunities for amenities such as picnic tables, seating, and lighting may be provided for the safety, comfort, and convenience of plan-area residents.

Permitted Uses

As specified by the Open Space (OS) District, Section 19.16.020 of the Roseville Zoning Ordinance.

Development Standards

As specified in Civic and Resource Protection Zone General Development Standards, Section 19.16.030.

2.2.5 Parks

GP Land-Use Designation: Parks and Recreation

Zoning: PR

Purpose/Intent

The North Roseville Specific Plan proposes eight parks which vary in approximate size from 2.7 acres to 41.9 acres and encompass a total of 80.3 acres in Phase 1, 29.1 acres in Phase 2 and 9.0 acres in Phase 3. Two of the parks (WW-50 and WW-51) will also serve as detention facilities. The facilities in these parks are further described in the Public Facilities and Services Element.

Permitted Uses

As specified for the Parks and Recreation (PR) district, Section 19.16.020 of the Roseville Zoning Ordinance.

Development Standards

As specified in Civic and Resource Protection Zone General Development Standards, Section 19.16.030.

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TABLE 6-2
PARK AREA FOR PHASE 1

	WOODCREEK NORTH	DIAMOND CREEK	ESKATON VILLAGE	MOURIER 140	Total
Rezone Area Total Acreage	232.9	308.8	52.1	140.5	734.3
Total Units	566	997	400	511	2,474
All Residential Units (less Eskaton)	566	997		511	2,074
Population	1,438	2,532	600	1,298	5,868
Required Park Acreage	12.9	22.8	5.4	11.7	52.8
Open Space	45.4	22.2		13.4	81.0
Proposed Net Active Park Acreage	42.8	34.8		2.7	80.6
Proposed Total Park and Open-Space Acreage	88.2	54.3		16.1	161.6

TABLE 6-3
PARK AREA REQUIREMENT FOR PHASE 2 AND TOTAL SPECIFIC PLAN

	WOODCREEK WEST	WALAIRE 160	Total
Rezone Area Total Acreage	492.6	161.0	653.6
Total Units	2,014	561	2,575
All Residential Units	2,014	561	2,575
Population	5,116	1,425	6,541
Required Total Park Acreage	46.0	12.8	58.85
Open Space	14.8	4.1	18.9
Proposed Net Active Park Acreage	12.0	17.6	29.6
Proposed Total Park and Open-Space Acreage	91.4	49.9	141.3

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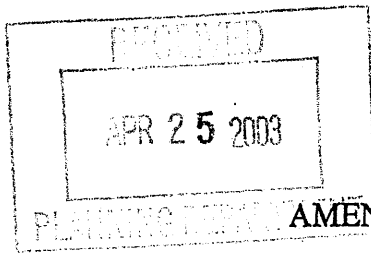
TABLE 6-4
PHASE I: DESIGNATED PARK AND OPEN SPACES

Parks	Parcel #	Actual		Park Credit
		Acreage	Allowance	
North School Park	DC-50	4.2	1:1	4.2
Diamond Creek Park	DC-51	3.6	1:1	3.6
Diamond Creek Park	DC-52	9.0	1:1	9.0
Diamond Creek Park	DC-53	10.3	1:1	10.3
Diamond Creek Park	DC-54	7.7	1:1	7.7
Commons Park	M-50	2.7	1:1	2.7
Pleasant Grove Creek Park	WN-50	26.3	1:1	26.3
Pleasant Grove Creek Park	WN-51	16.5	1:1	16.5
Parks Subtotal:		80.3		80.3
Open Space	DC-80	6.5	1:10	.65
Open Space	DC-81	13.2	1:10	1.32
Open Space	M-80	10.5	1:10	1.05
Open Space	M-81	2.9	1:10	.29
Open Space	WN-80	6.8	1:10	.68
Open Space	WN-81	10.8	1:10	1.08
Open Space	WN-82	9.2	1:10	.92
Open Space	WN-83	1.5	1:10	.15
Open Space	WN-84	0.5	1:10	.05
Open Space	WN-85	16.6	1:10	1.66
Open Space Subtotal:		78.5		7.85
PHASE 1 TOTAL PARK AND OPEN SPACE		158.8		88.15
Required Park Area				52.8

This includes only public open space. Both Parcels EV-1 and DC-9B also have private open space.

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NRSP

RESOLUTION NO. 03-170

SPA-02-07

AMENDING THE NORTH ROSEVILLE SPECIFIC PLAN
FOR 10070 CROCKER RANCH ROAD
(NRSP PARCELS S-3B AND DR-2)

WHEREAS, a proposal for amendment to the land use map of the North Roseville Specific Plan of the City of Roseville was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on March 13, 2003; and

WHEREAS, on April 16, 2003, the City Council held a public hearing at which time the proposed amendment was considered; and

WHEREAS, the amendment as proposed is consistent with the adopted City of Roseville General Plan; and

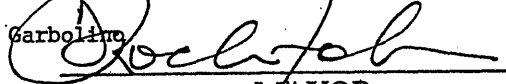
WHEREAS, it is the desire of this City Council to approve said amendments to the land use map of the North Roseville Specific Plan as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the land use map of the Specific Plan is amended as set forth in Exhibit "A", attached hereto.

PASSED AND ADOPTED by the Council of the City of Roseville this 16th day of April, 2003, by the following vote on roll call:

AYES. COUNCILMEMBERS: Earl Rush, Richard Roccucci, Jim Gray, Rocky Rockholm

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: Gina Carbolino 
MAYOR

ATTEST:

Assistant City Clerk



2. LAND USE

2.1 LAND-USE SUMMARY AND CONCEPT

2.1.1 Land-Use Summary

The North Roseville Specific Plan proposes a mix of residential neighborhoods, schools, parks, and supporting commercial land uses adjacent to a major regional employment center. The proposed land uses are predominantly residential, recreation and open space. The plan also includes sites for retail and professional services. Among these are unique opportunities for specialty retail, restaurants and office uses overlooking the natural creeks adjacent to the proposed Diamond Creek Park and Pleasant Grove Park.

The North Roseville Specific Plan Area (Phase 1, Phase 2 and Phase 3) proposes a total of 5,356 dwelling units on 1,552 acres at full build-out. Phase 1 proposes 2,341 dwelling units (including 363 attached-housing units in the Eskaton Village) on 738.4 acres. Phase 2 includes 2,299 dwelling units on 653.6 acres. Phase 3 proposes 716 dwelling units on 160.0 acres. Table 2-1 contains a summary of land uses for Phase 1, Phase 2 and Phase 3.

TABLE 2-1
SUMMARY OF LAND USE

PHASE 1

Eskaton Village, Diamond Creek Woodcreek North and Mourier 140		
<i>Land Use</i>	<i>Net Acreage</i>	<i>Units</i>
Low-Density Residential (LDR)	381.5	1,575
Medium-Density Residential (MDR)	9.3	72
High-Density Residential (HDR)	16.4	331
Community Commercial (CC)	93.3	
Eskaton Village (52.1 ac)		363
Park (PR)	79.7	
Public/Quasi-Public (P/QP)	39.5	
Open Space (OS)	80.2	
Major Road ROW	38.5	
Subtotal Phase 1	738.4	2,341

PHASE 2

Woodcreek West and Mourier 160		
<i>Land Use</i>	<i>Net Acreage</i>	<i>Units</i>
Low-Density Residential (LDR)	392.0	1,698
Medium-Density Residential (MDR)	20.0	232
High-Density Residential (HDR)	31.6	369
Community Commercial (CC)	15.6	
Park (PR)	29.1	
Public/Quasi-Public (P/QP)	29.6	
Open Space (OS)	103.7	
Major Road (ROW)	32.0	
Subtotal Phase 2	653.6	2,299

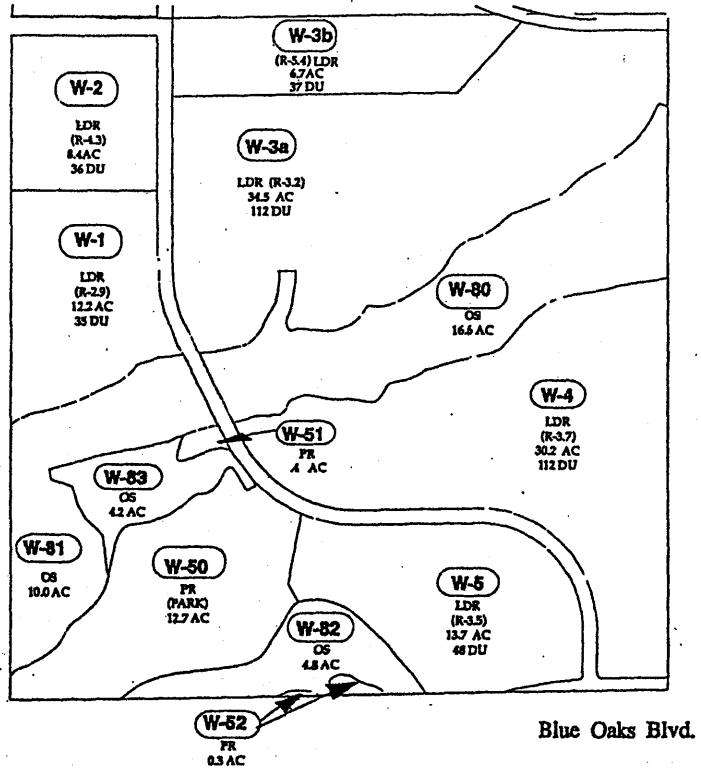
PHASE 3

Doctors Ranch		
<i>Land Use</i>	<i>Net Acreage</i>	<i>Units</i>
Low-Density Residential (LDR)	141.8	716
Park (PR)	9.0	
Major Road (ROW)	9.2	
Subtotal Phase 3	160.0	716
Total Phase 1, Phase 2 & Phase 3	1,552.0	5,356

TABLE 2-4
LAND USE MAP
PHASE 2: NEIGHBORHOOD C

Mourier 160					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acreage	Units
W-1	R1/DS	LDR	2.9	12.2	35
W-2	R1/DS	LDR	4.3	8.4	36
W-3a	R1/DS	LDR	3.2	34.5	112
W-3b	R1/DS	LDR	5.4	6.7	37
W-4	R1/DS	LDR	3.7	30.2	112
W-5	R1/DS	LDR	3.5	13.7	48
W-50	PR	Park		12.7	
W-51	PR	Park		0.4	
W-52	PR	Park		0.3	
W-80	OS	Open Space		16.6	
W-81	OS	Open Space		10.0	
W-82	OS	Open Space		4.8	
W-83	OS	Open Space		4.2	
		ROW - Mourier 160		6.3	
				161.0	380

FIGURE 2-4
PHASE 2 NEIGHBORHOOD C
LAND-USE MAP

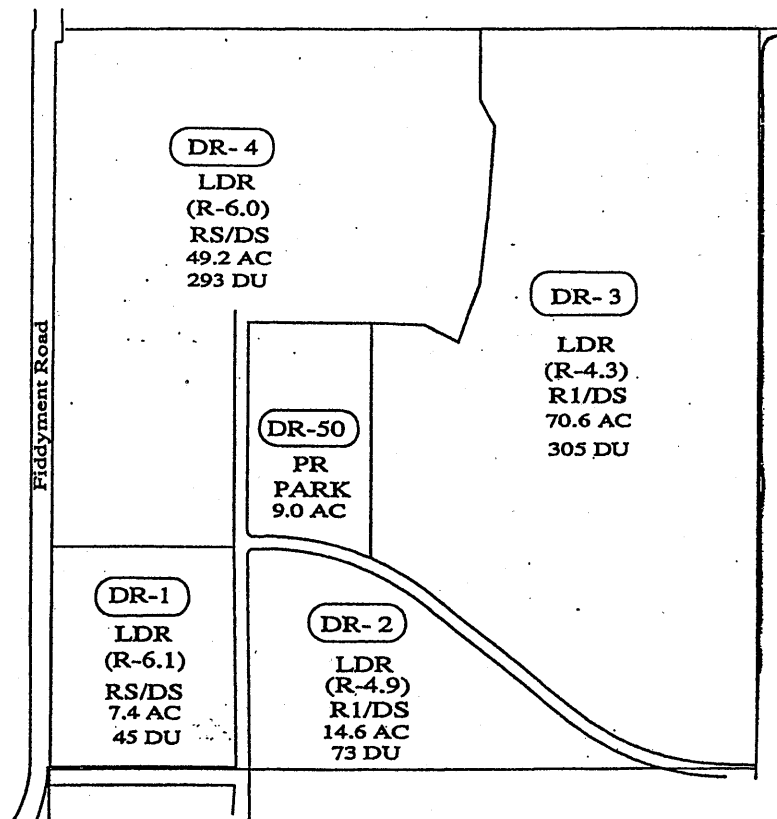


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TABLE 2-6
LAND USE
PHASE 3: NEIGHBORHOOD E

Doctors Ranch					
Land Use by Parcel Table					
<i>Parcel</i>	<i>Zoning</i>	<i>Land Use</i>	<i>Density</i>	<i>Net Acres</i>	<i>Units</i>
DR-1	RS/DS	LDR	6.1	7.4	45
DR-2	R1/DS	LDR	5.0	14.6	73
DR-3	R1/DS	LDR	4.3	70.6	305
DR-4	RS/DS	LDR	6.0	49.2	293
DR-50	PR	Park		9.0	
		ROW- Doctors Ranch		9.2	
				160.0	716

FIGURE 2-6
LAND USE MAP
PHASE 3: NEIGHBORHOOD E



NRSP contains the regulations and is incorporated into the ordinance establishing the zone districts.

Where the SA combining zone is used, it is to identify specific uses permitted within the zone and not to deviate from any development standards for the respective zone districts. The uses for each of the SA districts are included in Section 2.3.2.1 and 2.3.2.2 of this Specific Plan. The use of a SA combining zone in the NRSP will be followed by a "NR" to reference the "North Roseville" Specific Plan.

All use types are fully defined in Chapter 19.08 of the Roseville Zoning Ordinance. Use types not identified as principally, administratively or conditionally permitted are prohibited in the districts. Use types identified as administratively or conditionally permitted require approval of an Administrative or Conditional Use Permit as specified in Article II of the Zoning Ordinance.

Development Standards (DS) Overlay

The development standards for each zone district are as specified in the City of Roseville Zoning Ordinance and Community Design Guidelines, and may be supplemented by the Design Guidelines for this Specific Plan. Where it is anticipated that Development Standards will vary from zoning ordinance requirements, a Development Standard (DS) overlay has been applied.

Affected parcels have only been listed for those parcels that contain a "DS" or an "SA" combining zone. Refer to land use map for the zoning of all other parcels.

2.2.1 Residential Land Uses

2.2.1.1 Low-Density Residential Land Use

Land Use: Low-Density Residential (0.5-6.9 du/acre)

Zoning: R1, RS, R1/DS, RS/DS

Purpose/Intent

The Low-Density Residential (LDR) category includes dwelling units in configurations up to 6.9 dwelling units per gross acre (exclusive of open space and adjacent collector streets). The plan proposes 1,575 LDR dwelling units on 392.0 acres within Phase 1, 1,698 LDR dwelling units on 392.0 acres in Phase 2, and 716 LDR dwelling units on 141.8 acres in Phase 3. The density range allows some flexibility in selecting dwelling unit types and parcel configurations to suit particular site conditions and housing needs. Dwelling types in this density range could include attached or detached single family dwelling units. Small lots, clustered lots, conventional and large lots are anticipated in this density range. The intent is to provide flexibility of dwelling unit type and parcel configuration based on individual neighborhood and site conditions.

Permitted Uses

Permitted uses are specified by the Single Family Residential (R1) and the Small Lot Residential (RS) District, Section 19.10.020 of the Roseville Zoning Ordinance.

Development Standards

The development standards for R1 and RS zone district shall be as specified by Residential Zone General Development Standards, Section 19.10.030. The development standards for R1 and RS may be modified from the general district standards when the general zone is combined with a Development Standards (DS) overlay zone.

(a) Amended Development R1/DS Standards:

R1/DS: Affected Parcels: M-4, M-5, M-6, WN-4, W-1, W-3, W-4, W-5

These parcels may allow standard single-family product with halfplexes on corner lots, to meet the affordable housing goals and allow diversity and innovation in housing types. For this reason, the

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3. HOUSING

3.1 HOUSING OBJECTIVE

The North Roseville Specific Plan proposes development of dwelling units in a variety of types and densities. The plan includes 2,341 dwelling units in Phase 1, 2,299 dwelling units in Phase 2 and 716 dwelling units in Phase 3. The objective of the Specific Plan housing program is to satisfy the General Plan goal that ten percent (10%) of new housing be affordable to very low, low, and middle income residents.

3.2 HOUSING AFFORDABILITY PROGRAM

The North Roseville Specific Plan complies with the General Plan Housing Element by designating ten percent (10%) of the proposed housing stock affordable to very low, low and middle income households. The affordable-housing program will include a mix of:

- Purchase Housing Affordable to Middle-Income Households (81% to 100% of Median)
- Purchase Housing Affordable to Low-Income Households (70% to 80% of Median)
- Rental Housing Affordable to Low-Income Households (51% to 80% of Median)
- Rental Housing Affordable to Very Low-Income Households (less than 50% of Median)

Approximately twenty-five percent of the affordable housing requirement will be met through purchase housing affordable to middle-income residents. Approximately seventy-five percent of the affordable housing requirement will be provided through a combination of purchase and rental housing affordable to low-and very low-income residents.

The affordable dwellings will be designated in all neighborhoods in order to achieve a distribution throughout the plan area.

Property owners will enter into supplemental affordable-housing development agreement or other form as required by the City, that set the initial rent or purchase price for low and middle-income households, establish the criteria and basis for annual rent or purchase-price increases, and provide the City a method to monitor the rents and purchase price paid by low-income households.

The affordable housing allocation under each Phase is shown in Tables 3-1, 3-2 and 3-3.

3.2.1 Purchase Housing Affordable to Low-and Middle-Income Households

Phase 1 of the NRSP makes provision for 83 single-family purchase units designated for low-income households, and 43 single-family purchase units designated for participation in the middle-income component of Roseville's Housing Affordability program. Phase 2 will provide no single-family, low-income purchase units and 46 middle-income purchase units. Phase 3 will provide no single-family, low-income purchase units and 28 middle-income purchase units. These low-income and middle-income affordable units have been allocated to specific parcels as set forth in Tables 3-1, 3-2 and 3-3.

Dwelling units identified for single-family purchase housing are designated on specific parcels to be

TABLE 3-1
PHASE 1 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Eskaton	EV-1	HDR	R3/SA	400	40	30		10
Mourier 140	M-1	HDR	R3	131	118	118		
Mourier 140	M-3	LDR	RS/DS	115	5			5
Diamond Creek	DC-7	MDR	RS/DS	72	65		40	25
Diamond Creek	DC-8	HDR	R3	200	26	26		
Woodcreek North	WN-4	LDR	R1/DS	142	22		22	
Woodcreek North	WN-5	LDR	RS/DS	136	34		21	13
TOTAL UNITS IN PHASE 1: 2341 x 10% =				234	270	144	83	43
<i>AFFORDABLE UNITS = 10% OF ALL UNITS IN PHASE 1</i>								

TABLE 3-2
PHASE 2 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Woodcreek West	WW-14	MDR	RS	140	46			46
Woodcreek West	WW-16	HDR	R3	224	45	45		
Woodcreek West	WW-17	HDR	R3/SA	147	147	147		
TOTAL UNITS IN PHASE 2: 2,299 x 10% =				230	238	192		46

TABLE 3-3
PHASE 3 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Doctors Ranch	DR-4	LDR	RS/DS	293	28			28
TOTAL UNITS IN PHASE 3: 716 x 10% =				72	28			28

NOTE: The City and landowners have negotiated Affordable Housing credits to achieve the required number of affordable housing units based on the following: an increased percentage of affordable housing units for low income purchase units; an increase from 15 years to 30 years the term that affordability is required to be maintained on certain affordable units; and no City subsidy is required to achieve the low income rental units.

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pg 7

TABLE 6-2
SUMMARY OF PARK AREA REQUIRED AND PROVIDED FOR THE ENTIRE PLAN AREA
(PHASE 1, 2 AND 3)

	Phase 1	Phase 2	Phase 3	TOTAL
Total Park Area Required	50.1	52.6	16.4	119.1
Credited Park Area Provided	88.44	35.43	9.0	132.9

TABLE 6-3
SUMMARY OF PARK AREA CALCULATION

	PHASE 1				PHASE 2		PHASE 3
	Woodcreek North	Diamond Creek	Eskaton Village	Mourier 140	Woodcreek West	Mourier 160	Drs. Ranch
Rezoned Area Total Acreage	232.9	308.8	52.1	140.5	492.6	161.0	160.0
Total Units	566	901	363	511	1919	380	716
All Residential Units (less Eskaton)	566	901		511	1919	380	716
Population	1,438	2,289	545	1,298	4874	965	1,819
Required Total Park Acreage (.009 ac/ resident)	12.9	20.6	4.9	11.7	43.9	8.7	16.4
Open Space	45.4	19.6	0.0	13.4	57.3	35.6	0.0
Proposed Net Active Park Acreage	42.8	35.1	0.0	2.7	12.7	13.4	9.0
Proposed Total Park and Open-Space Acreage	88.2	54.7	0.0	16.1	70.0	49.0	9.0
Park Acreage Credit (See Table 6-4)	47.34	37.1	0.0	4.0	18.43	17.0	9.0

**TABLE 6-5
SCHOOL FACILITY REQUIREMENTS**

Phase 1

		Single Family / Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
	units	1,647	331			
Grades K-6		0.4039	0.1456	713	600	1.19
Grades 7-8		0.1106	0.0395	195	800	0.24
	Total:			909	1,400	
Roseville High School District						
	units	1,647	331			
Grades 9-12		0.2362	0.0445	404	1800	0.22
	Total:			404	1800	

Phase 2

		Single Family / Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
	units	380				
Grades K-6		0.4039	0.1456	153	600	0.26
Grades 7-8		0.1106	0.0395	42	800	0.05
	Total:			196	1,400	
Roseville High School District						
	units	1,930	369			
Grades 9-12		0.2362	0.0445	472	1800	0.26
	Total:			472	1800	

		Single Family / Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Dry Creek Joint Elementary School District (Woodcreek West Only)						
	units	1,550	369			
Grades K-5		0.3480	0.1710	602	750	0.80
Grades 6-8		0.1140	0.0900	210	1,100	0.19
	Total:			812	1,850	

Phase 3

		Single Family / Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
	units	716				
Grades K-6		0.4039	0.1456	289	600	0.48
Grades 7-8		0.1106	0.0395	79	800	0.10
	Total:			368	1,400	
Roseville High School District						
	units	716				
Grades 9-12		0.2362	0.0445	169	1800	0.09
	Total:			169	1800	

Phase 1,2 and 3 Combined

		Single Family / Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
	units	2,743	331			
Grades K-6		0.4039	0.1456	1,156	600	1.93
Grades 7-8		0.1106	0.0395	316	800	0.40
	Total:			1,473	1,400	
Dry Creek Joint Elementary School District (Woodcreek West Only)						
	units	1,550	556			
Grades K-5		0.3860	0.1710	693	750	0.92
Grades 6-8		0.1320	0.0900	255	1,100	0.23
	Total:			948	1,850	
Roseville High School District						
	units	4,293	700			
Grades 9-12		0.2362	0.0445	1,014	1800	0.56
	Total:			1,014	1800	

Total units does not include 110 dwellings designated for senior, handicapped and disabled persons in Parcel WW-17.

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NRSP

RESOLUTION NO. 02-247

~~SPA 02-02~~ SPA 02-01

AMENDING THE LAND USE MAP AND TEXT OF THE NORTH ROSEVILLE SPECIFIC PLAN, PHASE 1 AND 2 (ESKATON VILLAGE AND WOODCREEK WEST PARCEL WW-17)

WHEREAS, a proposal for amendment to the land use map and text of the North Roseville Specific Plan, Phase 1 and 2 (Eskaton Village and Woodcreek West Parcel WW-17) of the City of Roseville was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on May 23, 2002; and

WHEREAS, on June 19, 2002, the City Council held a public hearing at which time the proposed amendment was considered; and

WHEREAS, the amendment as proposed is consistent with the adopted City of Roseville General Plan; and

WHEREAS, it is the desire of this City Council to approve said amendments to the land use map and text of the North Roseville Specific Plan, Phase 1 and 2 (Eskaton Village and Woodcreek West Parcel WW-17) as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the text of the Specific Plan is hereby amended to read as follows:

Transfer 37 affordable units from Eskaton Village (Parcel EV-1 of the North Roseville Specific Plan, Phase 1 to Woodcreek West Parcel WW-17 in North Roseville Specific Plan, Phase 2, increasing the density of Parcel WW-17 from 13.9 units per acre to 18.6 units per acre


which properties are more fully shown on the Exhibit "A" attached hereto and incorporated herein by reference.

PASSED AND ADOPTED by the Council of the City of Roseville this 19th day of June, 2002, by the following vote on roll call:

AYES COUNCILMEMBERS: Earl Rush, Richard Roccucci, Gina Garbolino, Claudia Gamar

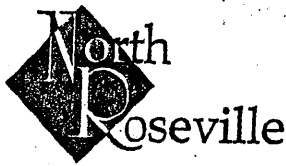
NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: Rocky Rockholm


MAYOR

ATTEST:

City Clerk



2. LAND USE

2.1 LAND-USE SUMMARY AND CONCEPT

2.1.1 Land-Use Summary

The North Roseville Specific Plan proposes a mix of residential neighborhoods, schools, parks, and supporting commercial land uses adjacent to a major regional employment center. The proposed land uses are predominantly residential, recreation and open space. The plan also includes sites for retail and professional services. Among these are unique opportunities for specialty retail, restaurants and office uses overlooking the natural creeks adjacent to the proposed Diamond Creek Park and Pleasant Grove Park.

The North Roseville Specific Plan Area (Phase 1, Phase 2 and Phase 3) proposes a total of 5,475 dwelling units on 1,552 acres at full build-out. Phase 1 proposes 2,472 dwelling units (including 363 attached-housing units in the Eskaton Village) on 738.4 acres. Phase 2 includes 2,371 dwelling units on 653.6 acres. Phase 3 proposes 669 dwelling units on 160 acres. Table 2-1 contains a summary of land uses for Phase 1, Phase 2 and Phase 3.

**TABLE 2-1
SUMMARY OF LAND USE**

PHASE 1

Eskaton Village, Diamond Creek Woodcreek North and Mourier 140		
Land Use	Net Acreage	Units
Low-Density Residential (LDR)	376.6	1,706
Medium-Density Residential (MDR)	9.3	72
High-Density Residential (HDR)	16.4	331
Community Commercial (CC)	93.3	
Eskaton Village (52.1 ac)		363
Business Professional (BP)	4.9	
Park (PR)	79.7	
Public/Quasi-Public (P/QP)	39.5	
Open Space (OS)	80.2	
Major Road ROW	38.5	
Subtotal Phase 1	738.4	2472

PHASE 2

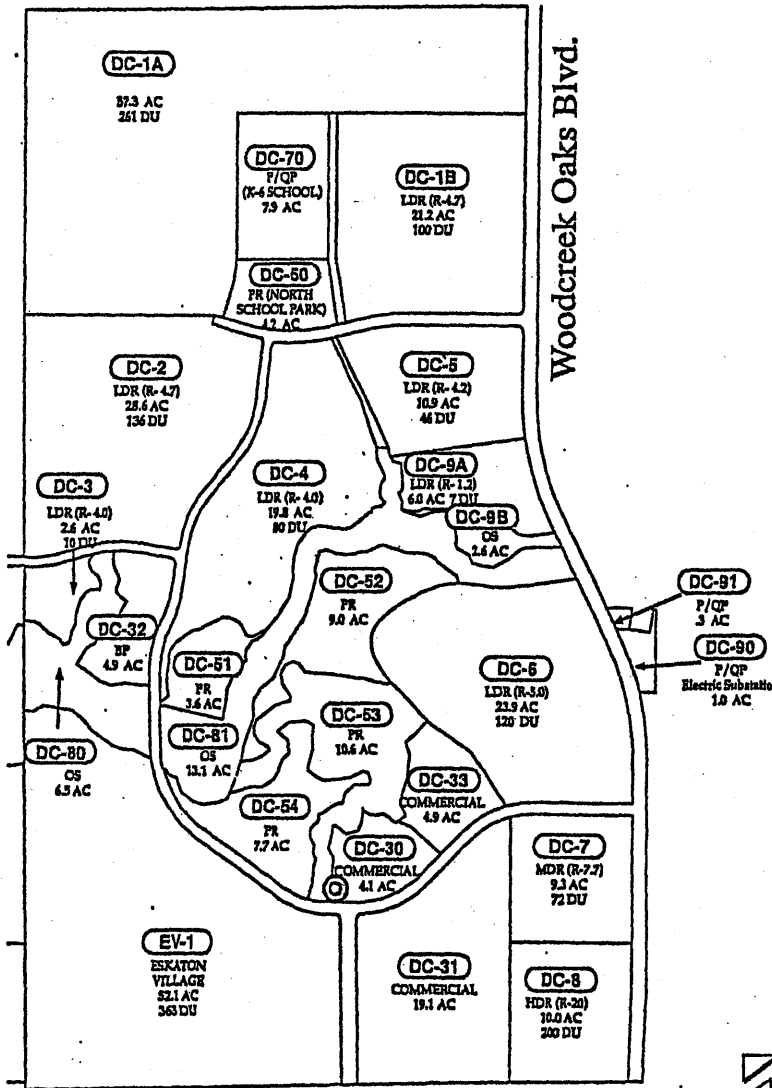
Woodcreek West and Mourier 160		
Land Use	Net Acreage	Units
Low-Density Residential (LDR)	392.0	1770
Medium-Density Residential (MDR)	31.0	232
High-Density Residential (HDR)	20.6	369
Community Commercial (CC)	15.6	
Park (PR)	29.1	
Public/Quasi-Public (P/QP)	29.6	
Open Space (OS)	103.7	
Major Road (ROW)	32.0	
Subtotal Phase 2	653.6	2,371

PHASE 3

Doctors Ranch		
Land Use	Net Acreage	Units
Low-Density Residential (LDR)	143.2	669
Park (PR)	9.0	
Major Road (ROW)	7.8	
Subtotal Phase 3	160.0	669
Total Phase 1, Phase 2 & Phase 3	1,552.0	5,475

TABLE 2-2
LAND USE BY PARCEL
PHASE I: NEIGHBORHOOD A

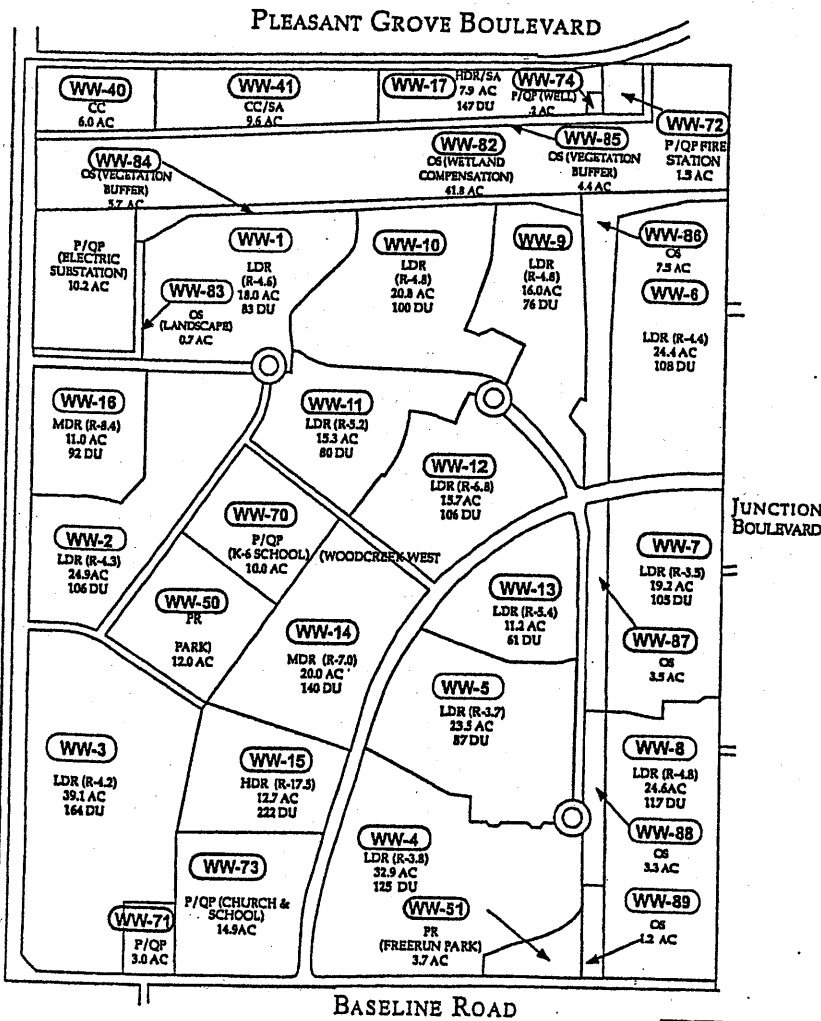
FIGURE 2-2
LAND USE MAP
PHASE I: NEIGHBORHOOD A



Eskaton Village Roseville, Diamond Creek					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acreage	Units
DIAMOND CREEK					
DC-1A	R1	LDR	4.6	57.3	261
DC-1B	R1	LDR	4.7	21.2	100
DC-2	R1	LDR	4.7	28.6	136
DC-3	R1	LDR	4.0	2.6	10
DC-4	R1	LDR	4.0	19.8	80
DC-5	R1	LDR	4.2	10.9	46
DC-6	RS	LDR	5.0	23.9	120
DC-7	RS/DS	MDR	7.7	9.3	72
DC-8	R3	HDR	20.0	10.0	200
DC-9A	R1/SA	LDR	1.2	6.0	7
DC-9B	OS	Open Space		2.6	
DC-30	CC/SA	Community Commercial		4.1	
DC-31	CC	Community Commercial		19.1	
DC-32	BP	Business-Professional		4.9	
DC-33	CC/SA	Community Commercial		4.9	
DC-50	PR	North School Park		4.2	
DC-51	PR	Diamond Creek Park		3.6	
DC-52	PR	Diamond Creek Park		9.0	
DC-53	PR	Diamond Creek Park		10.6	
DC-54	PR	Diamond Creek Park		7.7	
DC-70	P/QP	Elementary School		7.9	
DC-80	OS	Open Space		6.5	
DC-81	OS	Open Space		13.1	
DC-90	P/QP	Electric Substation		1.0	
DC-91	P/QP			0.3	
		ROW- Diamond Creek		23.8	
Subtotal Diamond Creek				312.9	1,032
ESKATON					
EV-1	Eskaton Village				
	CC/SA	Attached Housing		52.1	363
		ROW - Eskaton		0.0	
Subtotal Attached Housing Units				52.1	363

**TABLE 2-5
LAND USE MAP
PHASE 2: NEIGHBORHOOD D**

**FIGURE 2-5
LAND USE MAP
PHASE 2: NEIGHBORHOOD D**



Woodcreek West					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acres	Units
WW-1	R1	LDR	4.6	18.0	83
WW-2	R1	LDR	4.3	24.9	106
WW-3	R1	LDR	4.2	39.1	164
WW-4	R1	LDR	3.8	32.9	125
WW-5	R1	LDR	3.7	23.5	87
WW-6	R1	LDR	4.4	24.4	108
WW-7	RS	LDR	5.5	19.2	105
WW-8	RS	LDR	4.8	24.6	117
WW-9	R1	LDR	4.8	16.0	76
WW-10	R1	LDR	4.8	20.8	100
WW-11	RS	LDR	5.2	15.3	80
WW-12	RS	LDR	6.8	15.7	106
WW-13	RS	LDR	5.4	11.2	61
WW-14	RS	MDR	7.0	20.0	140
WW-15	R3	HDR	17.5	12.7	222
WW-16	RS/DS	MDR	8.4	11.0	92
WW-17	R3/SA	MDR	18.6	7.9	147
WW-40	CC	Commercial		6.0	
WW-41	CC/SA	Commercial		9.6	
WW-50	PR	Park/Detention		12.0	
WW-51	PR	Park/Detention		3.7	
WW-70	P/QP	Elementary School		10.0	
WW-71	P/QP	School Administration		3.0	
WW-72	P/QP	Fire Station		1.5	
WW-73	P/QP	Church/School		14.9	
WW-74	P/QP	Well Site		0.2	
WW-82	OS	Wetland Compensation		41.8	
WW-83	OS	Open Space(Landscape)		0.7	
WW-84	OS	Open Space (Vegetation Buffer)		5.7	
WW-85	OS	Open Space (Vegetation Buffer)		4.4	
WW-86	OS	Open Space		7.5	
WW-87	OS	Open Space		3.5	
WW-88	OS	Open Space		3.3	
WW-89	OS	Open Space		1.2	
		ROW- Woodcreek West		26.4	
				492.6	1,919

horse racing or rodeos

- Other uses requiring a business license, including ranch office

The uses associated with the Commercial Recreation use type, as defined above, shall occur on a parcel not less than 3 acres in size, exclusive of privately owned open space.

The equestrian facility shall be limited to a maximum attendance, at any one time, of 25 people. Up to 75 people at any one time, a maximum of four times a year, may also be permitted. Attendance exceeding either 75 people or 4 times per year may be permitted subject to approval of a conditional use permit.

Development Standards

As specified by the Residential Zone General Development Standards, for R1 Section 19.10.030 and OS, and Title 7 of the RMC. An Administrative Permit is required for all accessory buildings or structures in excess of 700 square feet, consistent with Chapter 19.22 of the Zoning Ordinance.

2.2.1.3 Medium-Density Residential Land Use

Land Use: Medium-Density Residential (7.0-12.9 du/acre)

Zoning: RS/DS

Purpose/Intent

The Medium-Density Residential (MDR) category includes dwelling units in configurations of 7.0 to 12.9 dwelling units per gross acre. The plan proposes 72 MDR dwelling units on 9.3 acres within Phase 1, and 140 MDR dwelling units on 20.9 acres in Phase 2. Dwelling units in this density range typically include detached unit types; however, attached units on small lots are also possible. Some examples of detached dwellings on small lots would include cottage housing.

Permitted Uses

As specified by the Small Lot Residential (RS) District, Section 19.10.020 of the Roseville Zoning Ordinance.

Development Standards

RS Affected Parcels: DC-7, WW-14, WW-16

It is anticipated that a project may be proposed that varies from the RS Development Standards as specified in the Roseville Zoning Ordinance Section 19.10.030 or the Supplemental RS Design Standards as specified in the Roseville Zoning Ordinance, Section 19.10.040. Because of the product variability possible within this density range, it is difficult to predict deviations to the RS zone at the Specific Plan stage, although deviations are anticipated. Development standards and/or the Supplemental Design Standards for these properties will be established through the processing of a DRRS concurrent with the tentative map for each parcel and may include deviations to lot area and usable rear yard.

2.2.1.4 High-Density Residential Land Use

Land Use: High-Density Residential (13.0 du/acre and above)

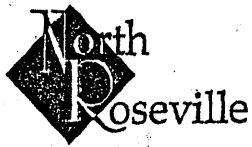
Zoning: R3

Purpose/Intent

The High-Density Residential (HDR) category includes dwelling units in configurations of 13.0 dwelling units per gross acre and above, typically apartments. The plan proposes 331 HDR dwelling units on 16.4 acres within Phase 1, and 369 dwelling units on 20.6 acres in Phase 2.

Permitted Uses

As specified by the Attached Housing R3 District, Section 19.10.020 of the Roseville Zoning Ordinance.



3. HOUSING

3.1 HOUSING OBJECTIVE

The North Roseville Specific Plan proposes development of dwelling units in a variety of types and densities. The plan includes 2472 dwelling units in Phase 1, 2,371 dwelling units in Phase 2 and 669 dwelling units in Phase 3. The objective of the Specific Plan housing program is to satisfy the General Plan goal that ten percent (10%) of new housing be affordable to very low, low, and middle income residents.

3.2 HOUSING AFFORDABILITY PROGRAM

The North Roseville Specific Plan complies with the General Plan Housing Element by designating ten percent (10%) of the proposed housing stock affordable to very low, low and middle income households. The affordable-housing program will include a mix of:

- Purchase Housing Affordable to Middle-Income Households (81% to 100% of Median)
- Purchase Housing Affordable to Low-Income Households (70% to 80% of Median)
- Rental Housing Affordable to Low-Income Households (51% to 80% of Median)
- Rental Housing Affordable to Very Low-Income Households (less than 50% of Median)

Approximately twenty-five percent of the affordable housing requirement will be met through purchase housing affordable to middle-income residents. Approximately seventy-five percent of the affordable housing requirement will be provided through a combination of purchase and rental housing affordable to low-and very low-income residents.

The affordable dwellings will be designated in all neighborhoods in order to achieve a distribution throughout the plan area.

Property owners will enter into supplemental affordable-housing development agreement or other form as required by the City, that set the initial rent or purchase price for low and middle-income households, establish the criteria and basis for annual rent or purchase-price increases, and provide the City a method to monitor the rents and purchase price paid by low-income households.

The affordable housing allocation under each Phase is shown in Tables 3-1, 3-2 and 3-3.

3.2.1 Purchase Housing Affordable to Low-and Middle-Income Households

Phase 1 of the NRSP makes provision for 83 single-family purchase units designated for low-income households, and 43 single-family purchase units designated for participation in the middle-income component of Roseville's Housing Affordability program. Phase 2 will provide 45 single-family, low-income purchase units and 57 middle-income purchase units. Phase 3 will provide no single-family, low-income purchase units and 17 middle-income purchase units. These low-income and middle-income affordable units have been allocated to specific parcels as set forth in Tables 3-1, 3-2 and 3-3.

Dwelling units identified for single-family purchase housing are designated on specific parcels to be

TABLE 3-1
PHASE 1 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Eskaton	EV-1	HDR	R3/SA	363	0	0		0
Mourier 140	M-1	HDR	R3	131	118	118		
Mourier 140	M-3	LDR	RS/DS	115	5			5
Diamond Creek	DC-7	MDR	RS/DS	72	65		40	25
Diamond Creek	DC-8	HDR	R3	200	26	26		
Woodcreek North	WN-4	LDR	R1/DS	142	22		22	
Woodcreek North	WN-5	LDR	RS/DS	136	34		21	13
TOTAL UNITS IN PHASE 1: 2472 x 10% =				247	270	144	83	43
<i>AFFORDABLE UNITS = 10% OF ALL UNITS IN PHASE 1</i>								

TABLE 3-2
PHASE 2 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Walaire 160	W-2	LDR	RS/DS	52	11			11
Woodcreek West	WW-14	MDR	RS	140	46			46
Woodcreek West	WW-16	MDR	RS/DS	92	45	45		
Woodcreek West	WW-17	HDR	R3/SA	147	147	147		
TOTAL UNITS IN PHASE 2: 2371 x 10% =				237	192		57	

TABLE 3-3
PHASE 3 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Doctors Ranch	DR-1	LDR	R1/DS	60	17			17
TOTAL UNITS IN PHASE 3: 669 x 10% =					67	17		17

NOTE: The City and landowners have negotiated Affordable Housing credits to achieve the required number of affordable housing units based on the following: an increased percentage of affordable housing units for low income purchase units; an increase from 15 years to 30 years the term that affordability is required to be maintained on certain affordable units; and no City subsidy is required to achieve the low income rental units.

affordable to low- or middle-income households at the time of sale. The long-term affordability of the designated units will be assured by a subsequent affordable-purchase housing development agreement or other form as required by the City, recorded prior to or concurrent with each small-lot residential subdivision final map for parcels designated to provide affordable units. This agreement will obligate the original purchaser and all successors in interest to make the housing unit available at a price affordable to low- or middle-income households.

The developer for each of the designated parcels will be required to provide the affordable housing pursuant to the terms of the Specific Plan Development Agreements implementing this Specific Plan, and no subsidy will be required from the City. The single family home builders, as successors to the Specific Plan Development Agreements, shall use their best efforts consistent with the terms of the Development Agreements to sell the affordable units only to those buyers who qualify under the applicable income category.

With the consent of the City's Housing and Redevelopment Manager ("HRM"), the affordable low- and middle-income purchase allocations set forth in Tables 3-1, 3-2 and 3-3 on a parcel-specific basis may be transferred between single-family parcels within the North Roseville Specific Plan. Such a transfer may be accomplished without amending this Specific Plan. A key consideration regarding the potential transfer of affordable units is the extent to which such a transfer improves the ability for producing the affordable units.

To the extent that the number of affordable units produced on a NRSP single family parcel exceeds the number of affordable units allocated to that parcel, the excess units shall be credited towards the affordable allocation assigned to another NRSP single-family parcel or parcels.

3.2.2 Rental Housing Affordable to Low- and Very Low-Income Households

Phase 1 of the NRSP provides 144 rental units designated for participation in the low-income component of Roseville's Housing Affordability Program. Phase 2 provides 192 low-income rental units. No affordable rental units have been provided in Phase 3. These low-income affordable units have been allocated to specific parcels as set forth on Table 3-1 and 3-2. The shortfall of affordable units in Phases 2 and 3 will be met through the provision of excess affordable units on Parcel M-1 in Phase 1. To the extent that the City is able to provide the funding for the subsidies discussed below, these units will be made available at rents that are affordable to low- and very low-income households for a period of 30+ years pursuant to a supplemental Affordable Rental-Housing Development Agreement or other form as required by the City.

The subsidies to be assembled by the City shall be sufficient to compensate the apartment owner in amount equal to two-thirds the net present value of the loss of revenue for low-income households. No subsidies will be provided for development of low income housing in Parcel M-1. If the City cannot provide the necessary funding, then the requirement to provide the low-income affordable units will be reduced to a level that can be funded by the City, or terminated. Based on the subsidy need anticipated to meet the housing requirement for this income group, some form of deep subsidy will likely be required to help offset the difference between the real cost of producing the housing and the amount that the households can reasonably afford. The source of such funding is typically government housing programs that directly subsidize the cost of land acquisition and construction. The landowner and City agree to join in any application prepared by the City for federal, state, local or private funding and agree to cooperate to obtain the approval of any such application.

TABLE 6-2
SUMMARY OF PARK AREA REQUIRED AND PROVIDED FOR THE ENTIRE PLAN AREA
(PHASE 1, 2 AND 3)

	Phase 1	Phase 2	Phase 3	TOTAL
Total Park Area Required	52.3	54.1	15.5	121.9
Credited Park Area Provided	88.44	35.43	9.0	132.9

TABLE 6-3
SUMMARY OF PARK AREA CALCULATION

	PHASE 1				PHASE 2		PHASE 3
	Woodcreek North	Diamond Creek	Eskaton Village	Mourier 140	Woodcreek West	Mourier 160	Drs. Ranch
Rezone Area Total Acreage	232.9	308.8	52.1	140.5	492.6	161.0	160.0
Total Units	566	997	363	511	1919	452	669
All Residential Units (less Eskaton)	566	997		511	1919	452	669
Population	1,438	2,532	545	1,298	4874	1,148	1,700
Required Total Park Acreage (.009 ac/ resident)	12.9	22.8	4.9	11.7	48.9	10.3	15.3
Open Space	45.4	19.6	0.0	13.4	57.3	35.6	0.0
Proposed Net Active Park Acreage	42.8	35.1	0.0	2.7	12.7	13.4	9.0
Proposed Total Park and Open-Space Acreage	88.2	54.7	0.0	16.1	70.0	49.0	9.0
Park Acreage Credit (See Table 6-4)	47.34	37.1	0.0	4.0	18.43	17.0	9.0

NRSP

RESOLUTION NO. 02-340

SPA 02-03

AMENDING THE NORTH ROSEVILLE SPECIFIC PLAN
FOR 10000 DIAMOND CREEK BOULEVARD PROJECT
(DIAMOND CREEK COMMERCIAL)

WHEREAS, a proposal for amendment to the North Roseville Specific Plan of the City of Roseville was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on July 11, 2002; and

WHEREAS, on August 7, 2002, the City Council held a public hearing at which time the proposed amendment was considered; and

WHEREAS, the amendment as proposed is consistent with the adopted City of Roseville General Plan; and

WHEREAS, it is the desire of this City Council to approve said amendments to the North Roseville Specific Plan as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that section 4.2 of the Specific Plan is amended, to modify the approved street section for Parkside Way to allow on-street parking, by insertion of the diagram shown on Exhibit "A" attached hereto and incorporated herein by reference.

PASSED AND ADOPTED by the Council of the City of Roseville this 7th day of August, 2002, by the following vote on roll call:

AYES COUNCILMEMBERS: Earl Rush, Richard Roccucci, Gina Garbolino, Rocky Rockholm, Claudia Gamar

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: None

Claudia Gamar
MAYOR

ATTEST:
Carolyn Peterson
City Clerk

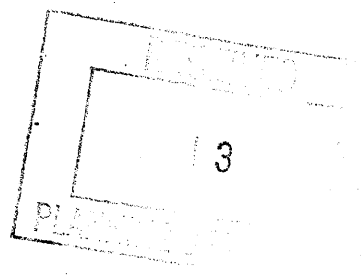
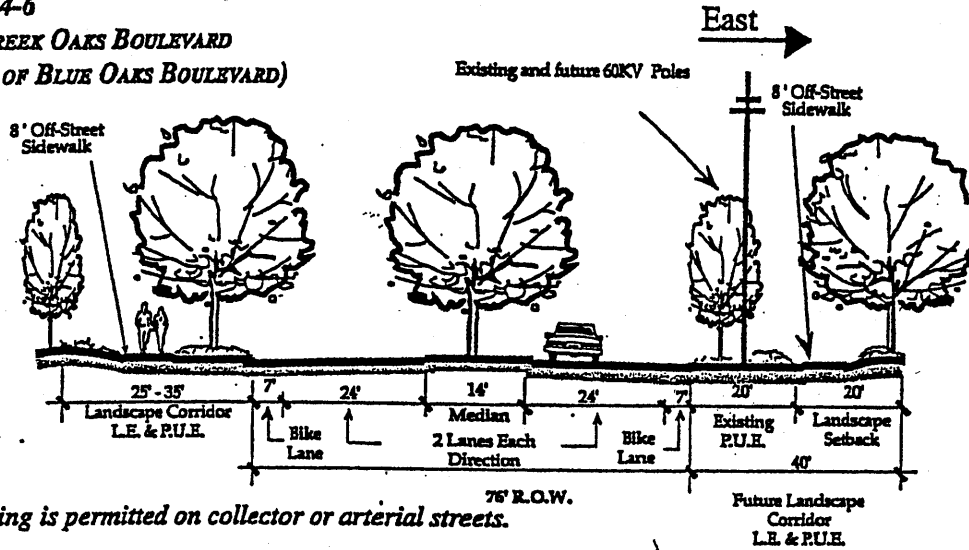


FIGURE 4-6
WOODCREEK OAKS BOULEVARD
(NORTH OF BLUE OAKS BOULEVARD)



No parking is permitted on collector or arterial streets.

FIGURE 4-7A
TYPICAL COLLECTOR STREET

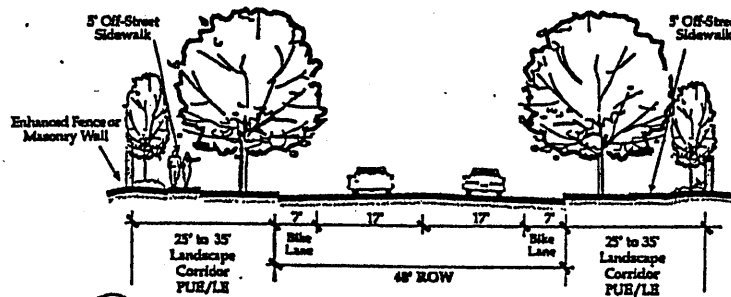
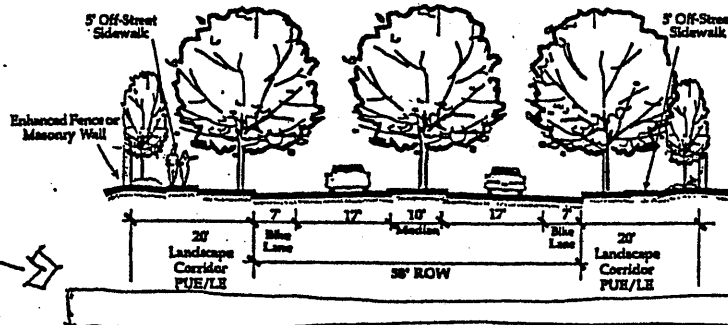


FIGURE 4-7B
OPTIONAL COLLECTOR STREET #1



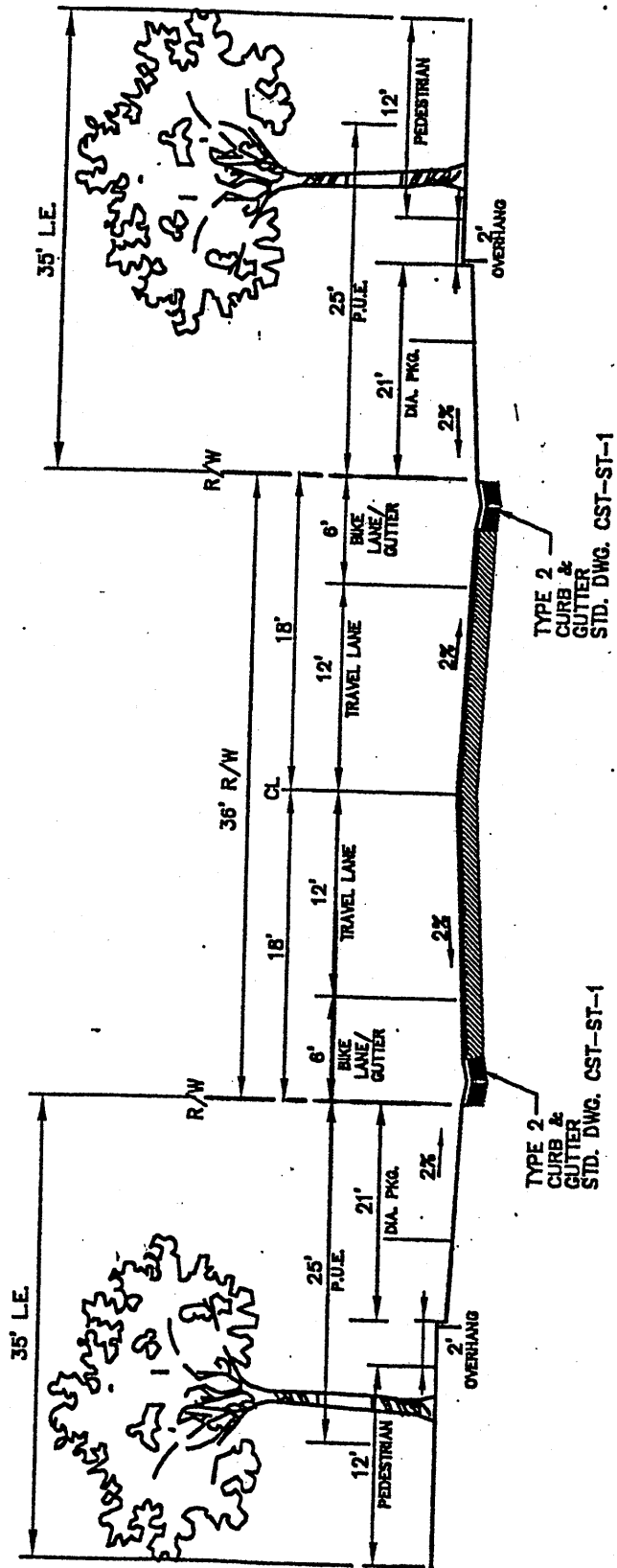
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"FIGURE 4-7C"
OPTIONAL
COLLECTOR
STREET #2

4.2.2 Collector and Residential Streets

Collector streets generally link local residential streets and the commercial and office parking areas to the arterials. The right-of-way for these streets is 48 feet and contains two traffic lanes and bicycle lanes. Major entries to neighborhoods from collector streets will be enhanced with a 12 foot wide turning lane and an 8 foot wide landscape median. These entry features

are described in Appendix A, the North Roseville Specific Plan Design Guidelines.

The exception to the typical collector street standard is Diamond Creek Boulevard. This road will have a 76' foot wide right-of-way (ROW) with 4 travel lanes and a landscape median. In Addition, Diamond Creek Boulevard (Neighborhood A, Phase 1) will have a 69 foot wide corridor on the west side of the collector roadway as shown in Figure 4-8. This



OPTIONAL COLLECTOR STREET #2
(PARKSIDE WAY COMMERCIAL)

FIGURE 4-7C

NRSP

RESOLUTION NO. 02-184

SPA 01-05

AMENDING THE TEXT AND LAND USE MAP OF THE NORTH ROSEVILLE SPECIFIC PLAN PHASES II AND III - CROCKER RANCH NORTH AND DOCTOR'S RANCH (4805 FIDDYMENT ROAD)

WHEREAS, a proposal for amendment to the land use map and text of the North Roseville Specific Plan Phases II and III - Crocker Ranch North and Doctor's Ranch (4805 Fiddymment Road) was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on March 14, 2002; and

WHEREAS, on May 15, 2002, the City Council held a public hearing at which time the proposed amendment was considered; and

WHEREAS, the amendment as proposed is consistent with the adopted City of Roseville General Plan; and

WHEREAS, the amendment is consistent with the Negative Declaration prepared and certified for the NRSP; and

WHEREAS, it is the desire of this City Council to approve said amendments to the text and the land use map of the North Roseville Specific Plan Phase II and III as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the text of the Specific Plan is hereby amended to read as follows:

To modify land use densities, transfer units and modify development standards within the residential large lots as shown on Exhibit "A" attached hereto.

FURTHER RESOLVED that this Resolution will take effect on the same date Ordinance No. _____ becomes effective.

PASSED AND ADOPTED by the Council of the City of Roseville this 15th day of May, 2002, by the following vote on roll call:

AYES COUNCILMEMBERS: Earl Rush, Richard Roccucci, Gina Garbolino, Rocky Rockholm, Claudia Gamar

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: None


MAYOR

ATTEST:


City Clerk



2. LAND USE

2.1 LAND-USE SUMMARY AND CONCEPT

2.1.1 Land-Use Summary

The North Roseville Specific Plan proposes a mix of residential neighborhoods, schools, parks, and supporting commercial land uses adjacent to a major regional employment center. The proposed land uses are predominantly residential, recreation and open space. The plan also includes sites for retail and professional services. Among these are unique opportunities for specialty retail, restaurants and office uses overlooking the natural creeks adjacent to the proposed Diamond Creek Park and Pleasant Grove Park.

The North Roseville Specific Plan Area (Phase 1, Phase 2 and Phase 3) proposes a total of 5,625 dwelling units on 1,552 acres at full build-out. Phase 1 proposes 2,509 dwelling units (including 400 attached-housing units in the Eskaton Village) on 738.4 acres. Phase 2 includes ~~2,466~~ 2,261 dwelling units on 653.6 acres. Phase 3 proposes ~~723~~ 715 dwelling units on 160.0 acres. Table 2-1 contains a summary of land uses for Phase 1, Phase 2 and Phase 3.

TABLE 2-1
SUMMARY OF LAND USE

PHASE 1

Eskaton Village, Diamond Creek Woodcreek North and Mourier 140		
Land Use	Net Acreage	Units
Low-Density Residential (LDR)	376.6	1,706
Medium-Density Residential (MDR)	9.3	72
High-Density Residential (HDR)	16.4	331
Community Commercial (CC)	93.3	
Eskaton Village (52.1 ac)		400
Business Professional(BP)	4.9	
Park (PR)	79.7	
Public/Quasi-Public (P/QP)	39.5	
Open Space (OS)	80.2	
Major Road ROW	38.5	
Subtotal Phase 1	738.4	2,509

PHASE 2

Woodcreek West and Mourier 160		
Land Use	Net Acreage	Units
Low-Density Residential (LDR)	392.0	1770 <u>1697</u>
Medium-Density Residential (MDR)	20.0	140 <u>232</u>
High-Density Residential (HDR)	31.6	556 <u>332</u>
Community Commercial (CC)	15.6	
Park (PR)	29.1	
Public/Quasi-Public (P/QP)	29.6	
Open Space (OS)	103.7	
Major Road (ROW)	32.0	
Subtotal Phase 2	653.6	2,442 <u>2,261</u>

PHASE 3

Doctors Ranch		
Land Use	Net Acreage	Units
Low-Density Residential (LDR)	143.2 <u>141.8</u>	669 <u>715</u>
Park (PR)	9.0	
Major Road (ROW)	7.8 <u>9.2</u>	
Subtotal Phase 3	160.0	669 <u>715</u>
Total Phase 1, Phase 2 & Phase 3	1,552.0	5,625 <u>5,485</u>

TABLE 2-4
LAND USE MAP
PHASE 2: NEIGHBORHOOD C

Mourier 160					
Land Use by Parcel Table					
<i>Parcel</i>	<i>Zoning</i>	<i>Land Use</i>	<i>Density</i>	<i>Net Acreage</i>	<i>Units</i>
W-1	R1/DS	LDR	4.1	12.2	50
W-2	RS/DS	LDR	6.2	8.4	52
W-3	R1/DS	LDR	4.2	41.2	175
W-4	R1/DS	LDR	4.1	30.2	125
W-5	R1/DS	LDR	3.6	13.7	50
W-50	PR	Park		12.7	
W-51	PR	Park		0.4	
W-52	PR	Park		0.3	
W-80	OS	Open Space		16.6	
W-81	OS	Open Space		10.4	
W-82	OS	Open Space		4.8	
W-83	OS	Open Space		4.2	
ROW - Mourier 160				6.3	
				161.0	452

FIGURE 2-4
PHASE 2 NEIGHBORHOOD
LAND-USE MAP

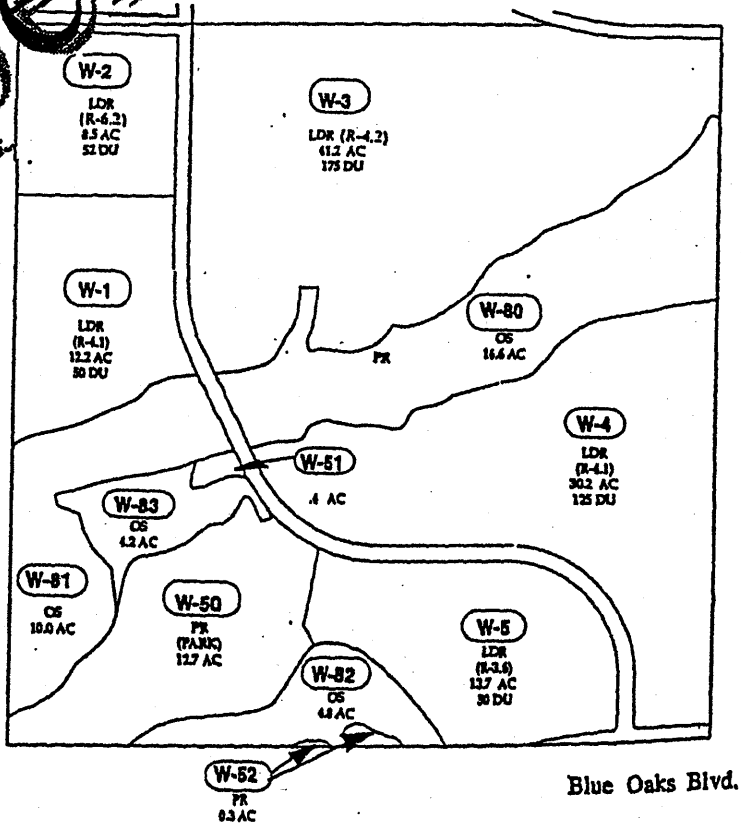


TABLE 2-4
LAND USE MAP
PHASE 2: NEIGHBORHOOD C

Mourier 160						
Land Use by Parcel Table						
<i>Parcel</i>	<i>Zoning</i>	<i>Land Use</i>	<i>Density</i>	<i>Net Acreage</i>	<i>Units</i>	
W-1	R1/DS	LDR	2.9	12.2	35	
W-2	R1/DS	LDR	4.3	8.4	36	
W-3a	R1/DS	LDR	3.2	34.5	112	
W-3b	R1/DS	LDR	5.4	6.7	36	
W-4	R1/DS	LDR	3.7	30.2	112	
W-5	R1/DS	LDR	3.5	13.7	48	
W-50	PR	Park		12.7		
W-51	PR	Park		0.4		
W-52	PR	Park		0.3		
W-80	OS	Open Space		16.6		
W-81	OS	Open Space		10.0		
W-82	OS	Open Space		4.8		
W-83	OS	Open Space		4.2		
		ROW - Mourier 160		6.3		

FIGURE 2-4
PHASE 2 NEIGHBORHOOD C
LAND-USE MAP

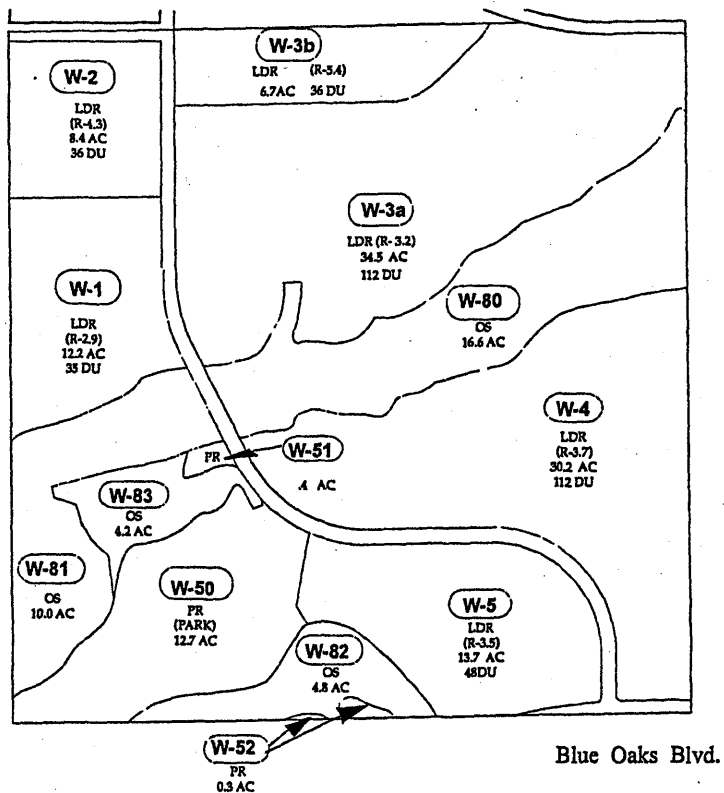


TABLE 2-6
 LAND USE MAP
 PHASE 3: NEIGHBORHOOD E

Doctors Ranch					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acres	Units
DR-1	RS/DS	LDR	6.4	9.4	60
DR-2	R1/DS	LDR	5.4	14.6	79
DR-3	R1/DS	LDR	4.3	77.2	335
DR-4	R1/DS	LDR	4.3	42.0	195
DR-50	PR	Park		9.0	
		ROW-Doctors Ranch		7.8	
				160.0	669

FIGURE 2-6
 LAND USE MAP
 PHASE 3: NEIGHBORHOOD E

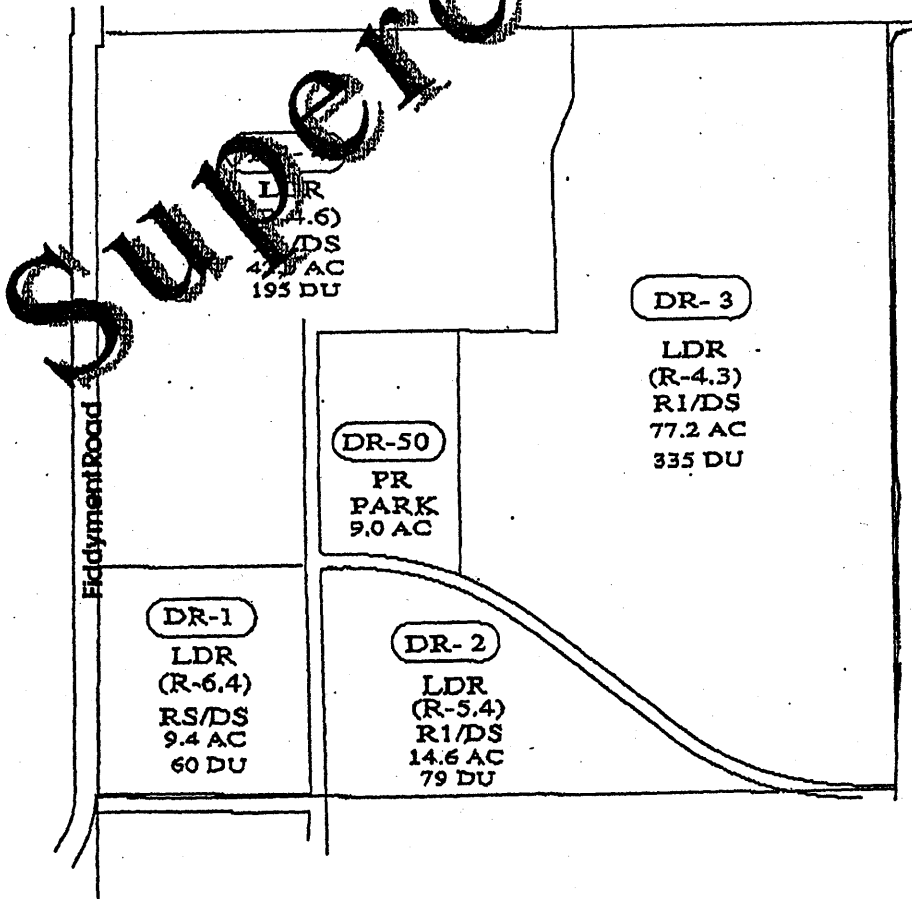
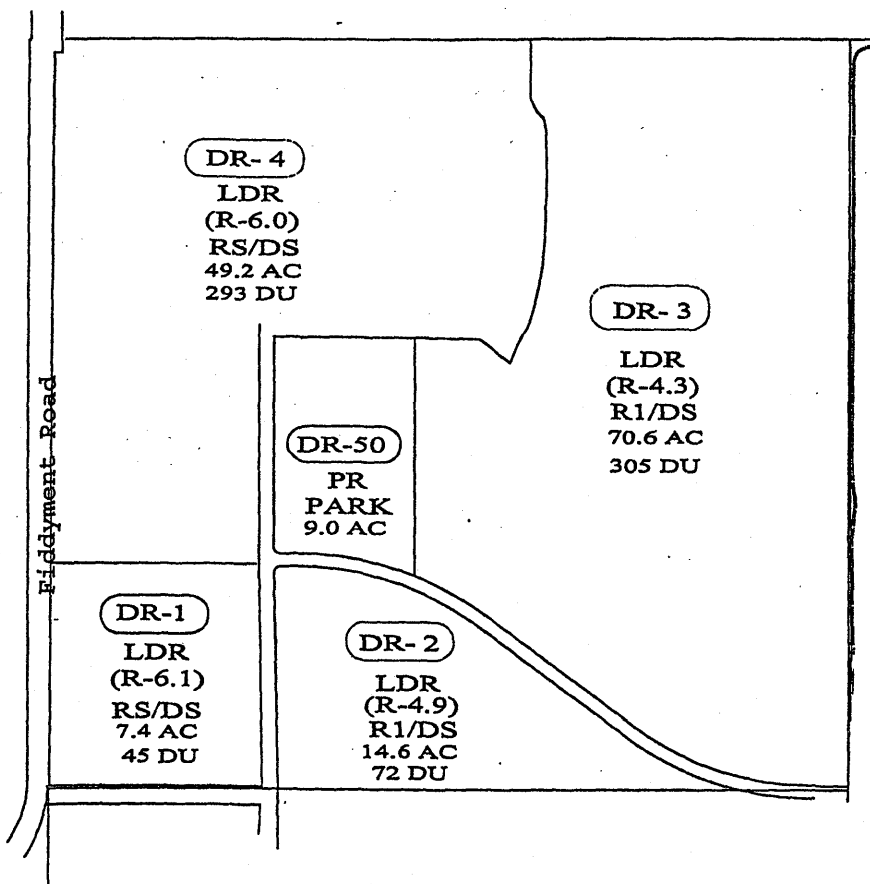


TABLE 2-6
 LAND USE MAP
 PHASE 3: NEIGHBORHOOD E

Doctors Ranch					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acres	Units
DR-1	RS/DS	LDR	6.1	7.4	45
DR-2	R1/DS	LDR	4.9	14.6	72
DR-3	R1/DS	LDR	4.3	70.6	305
DR-4	RS/DS	LDR	6.0	49.2	293
DR-50	PR	Park		9.0	
		ROW- Doctors Ranch		9.2	
				160.0	715

FIGURE 2-6
 LAND USE MAP
 PHASE 3: NEIGHBORHOOD E



NRSP contains the regulations and is incorporated into the ordinance establishing the zone districts.

Where the SA combining zone is used, it is to identify specific uses permitted within the zone and not to deviate from any development standards for the respective zone districts. The uses for each of the SA districts are included in Section 2.3.2.1 and 2.3.2.2 of this Specific Plan. The use of a SA combining zone in the NRSP will be followed by a "NR" to reference the "North Roseville" Specific Plan.

All use types are fully defined in Chapter 19.08 of the Roseville Zoning Ordinance. Use types not identified as principally, administratively or conditionally permitted are prohibited in the districts. Use types identified as administratively or conditionally permitted require approval of an Administrative or Conditional Use Permit as specified in Article II of the Zoning Ordinance.

Development Standards (DS) Overlay

The development standards for each zone district are as specified in the City of Roseville Zoning Ordinance and Community Design Guidelines, and may be supplemented by the Design Guidelines for this Specific Plan. Where it is anticipated that Development Standards will vary from zoning ordinance requirements, a Development Standard (DS) overlay has been applied.

Affected parcels have only been listed for those parcels that contain a "DS" or an "SA" combining zone. Refer to land use map for the zoning of all other parcels.

2.2.1 Residential Land Uses

2.2.1.1 Low-Density Residential Land Use

Land Use: Low-Density Residential (0.5-6.9 du/acre)

Zoning: R1, RS, R1/DS, RS/DS

Purpose/Intent

The Low-Density Residential (LDR) category includes dwelling units in configurations up to 6.9 dwelling units per gross acre (exclusive of open space and adjacent collector streets). The plan proposes 1,706 LDR dwelling units on 376.6 acres within Phase 1, ~~1,770~~ 1,697 LDR dwelling units on 392.0 acres in Phase 2, and ~~669~~ 715 LDR dwelling units on ~~143.2~~ 141.8 acres in Phase 3. The density range allows some flexibility in selecting dwelling unit types and parcel configurations to suit particular site conditions and housing needs. Dwelling types in this density range could include attached or detached single family dwelling units. Small lots, clustered lots, conventional and large lots are anticipated in this density range. The intent is to provide flexibility of dwelling unit type and parcel configuration based on individual neighborhood and site conditions.

Permitted Uses

Permitted uses are specified by the Single Family Residential (R1) and the Small Lot Residential (RS) District, Section 19.10.020 of the Roseville Zoning Ordinance.

Development Standards

The development standards for R1 and RS zone district shall be as specified by Residential Zone General Development Standards, Section 19.10.030. The development standards for R1 and RS may be modified from the general district standards when the general zone is combined with a Development Standards (DS) overlay zone.

(a) Amended Development R1/DS Standards:

R1/DS: Affected Parcels: M-4, M-5, M-6, WN-4, W-1, W-2, W-3, W-4, W-5, DR-2 and DR-3

These parcels may allow standard single-family product with halfplexes on corner lots, to meet the affordable housing goals and allow diversity and innovation in housing types. For this reason, the

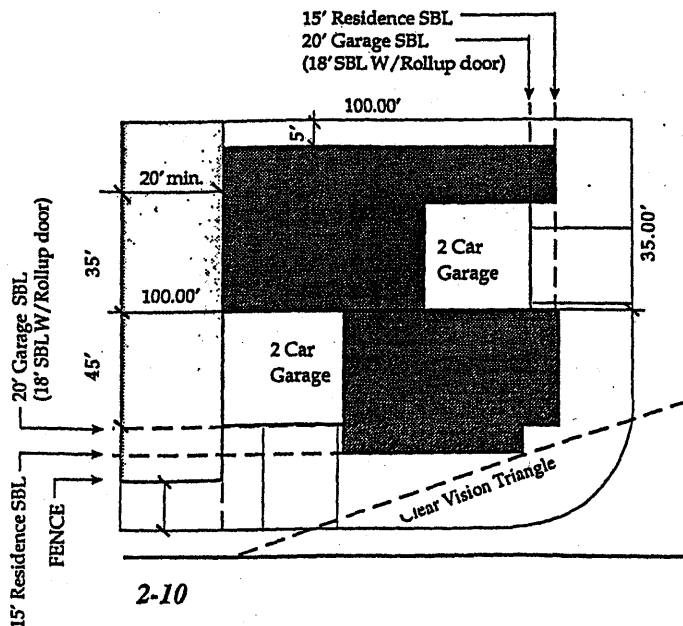
development standards for these parcels have been modified to allow for this housing type on corner lots. Unless otherwise specified, the development standards remain the same as the Residential Zone General Development Standards, Section 19.10.030 for all other lots. Table 2-7 lists only those standards which deviate from the general zone development standards for the R1 zone for halfplex lots. The Standards are illustrated in Figure 2-7. For parcel M-5, DR-2, and W-3b, a DRRS may be processed with the map to modify lot width only.

TABLE 2-7
R1/DS AMENDED DEVELOPMENT STANDARDS FOR
HALFPLEX LOTS

Development Feature	R1/DS Halfplex Units
Area, Interior Lot	3500 sq. ft.
Area Corner Lot	4500 sq. ft. *
Width, Interior Lot	35 ft.
Width, Corner Lot	45 ft.
Minimum Front Yard Setback to Ground Floor	15 ft.
Minimum Front Yard Setback to Second Floor	20 ft.
Minimum Side Yard for Adjacent Halfplex Units	0 ft.
Minimum Rear Yard Setback	20 ft.
Garage Setback with Rollup Door	18 ft.
Site Coverage	45%

* Area used to provide a corner radius shall be included in the lot-area calculations.

FIGURE 2-7
TYPICAL HALFPLEX SCHEMATIC



(b) Amended Development R1/DS Standards:

R1/DS: Affected Parcels: DR-2, DR-3, M-4, M-5, M-6, W-1, W-2, W-3, W-4, W-5, WW-2 and WW-5 and ~~WW-13~~

These parcels may allow standard single-family dwellings with reduced front yard setbacks for side entry garages. The development standards for single dwellings on R-1 lots remain the same as the Residential Zone General Development Standards, Section 19.10.030 except that the maximum lot coverage shall be 45 percent on single story dwellings and the minimum front yard setback shall be fifteen feet for side entry garages only. Table 2-8 lists only those standards which deviate from the general zone development standards for the R1 zone.

TABLE 2-8
R1/DS AMENDED DEVELOPMENT STANDARDS FOR
SINGLE STORY

Development Feature	R1/DS
Minimum Front Yard Setback for Side Entry Garages	15 ft.
Garage Setback with Roll up Door	18 ft.
Site Coverage for Single Story Units	45%

* 45% coverage may apply provided:

- No lots with site constraints (such as native oak trees) shall have reduced front yard setbacks and increased coverage.
- No more than 33% of the home within a subdivision shall have reduced front yard setbacks: and
- No more than three units in a row with the reduced front yard setbacks and increased coverage.

(c) Amended Development R1/DS Standards:

R1/DS: Affected Parcels: W-1, W-3, W-4 and W-5

The amended development standards identified in (a) and Table 2-8 shall apply. In addition, the following a twenty (20) foot open space setback for primary structures shall apply. The intent is to provide an

adequate fire safety setback along the parcels adjacent to open space corridors. Fencing

adjacent to the open space shall be non-combustible wrought iron type as required in the Design Guidelines Section 9.3.2. Table 2-8 lists those standards which deviate from the general development standards for the R1 zone for open space lots.

(d) Amended Development RS/DS Standards

RS/DS: Affected Parcels: WN-5, DC-7, W-2, DR-1 and DR-4

Parcels in the Low Density Residential RS zone are intended to provide housing that may include small-lot, single-family detached, cluster, or attached housing. Because of the housing product variability possible within this density range, it is more difficult to define the Development Standards (DS) overlay zone at the specific-plan stage, although deviation to the RS development standards are anticipated. Development standards for these properties will be established through the processing of a Design Review Permit for Residential Subdivisions (DRRS) concurrent with the tentative map for each parcel, and may include deviations to lot area and usable rear yard.

(e) Special Area District and Amended Development RS/SA Standards

RS/SA: Affected Parcels: DR-1

~~As a condition of the SA zoning, no development of the affected parcels shall be allowed prior to an effective development agreement being entered into with the City and recorded against such parcels.~~

2.2.1.2 Low-Density Residential/Equestrian

Land Use: Low-Density Residential (0.5-6.9 du/acre)

Zoning: R1/SA, OS

Purpose/Intent

Parcel DC-9A (5.8 acres) is zoned R1/SA for single-family residential and equestrian uses. Parcel DC-9B (1.9 acres), within the flood plain of Pleasant Grove Creek, is zoned OS for open-space uses, which may include an unenclosed, lighted equestrian arena and/or pasture area, and other passive recreational uses associated with an equestrian facility. All uses within designated open space shall be consistent with the City's flood protection regulations.

Permitted Uses

Parcel 9A has a zone district of Single-Family Residential/Special Area (R-1/SA) intended to reflect the specialized nature and uses of a private equestrian facility. The zone district includes all uses as specified in the R1 District (Section 19.10.021) and the following uses consistent with Title 7 of the RMC:

- Barn with air-conditioned and heated areas
- Stable
- Paddocks
- Indoor and outdoor lighted arena
- Other facilities (outbuildings, etc.) associated with the operation of an equestrian facility
- Irrigated pastures

The special area overlay allows Commercial Recreation, Residential Recreation Facilities as a permitted use. The Residential Recreation Facility is intended to be for a private equestrian facility, which includes:

- Riding of horses by persons other than the occupants of the premises or their non-paying guests
- Boarding
- Riding arenas
- Riding schools & academies



3. HOUSING

3.1 HOUSING OBJECTIVE

The North Roseville Specific Plan proposes development of dwelling units in a variety of types and densities. The plan includes 2,509 dwelling units in Phase 1, ~~2,466~~ 2,261 dwelling units in Phase 2 and ~~669~~ 715 dwelling units in Phase 3. The objective of the Specific Plan housing program is to satisfy the General Plan goal that ten percent (10%) of new housing be affordable to very low, low, and middle income residents.

3.2 HOUSING AFFORDABILITY PROGRAM

The North Roseville Specific Plan complies with the General Plan Housing Element by designating ten percent (10%) of the proposed housing stock affordable to very low, low and middle income households. The affordable-housing program will include a mix of:

- Purchase Housing Affordable to Middle-Income Households (81% to 100% of Median)
- Purchase Housing Affordable to Low-Income Households (70% to 80% of Median)
- Rental Housing Affordable to Low-Income Households (51% to 80% of Median)
- Rental Housing Affordable to Very Low-Income Households (less than 50% of Median)

Approximately twenty-five percent of the affordable housing requirement will be met through purchase housing affordable to middle-income residents. Approximately seventy-five percent of the affordable housing requirement will be provided through a combination of purchase and rental housing affordable to low-and very low-income residents.

The affordable dwellings will be designated in all neighborhoods in order to achieve a distribution throughout the plan area.

Property owners will enter into supplemental affordable-housing development agreement or other form as required by the City, that set the initial rent or purchase price for low and middle-income households, establish the criteria and basis for annual rent or purchase-price increases, and provide the City a method to monitor the rents and purchase price paid by low-income households.

The affordable housing allocation under each Phase is shown in Tables 3-1, 3-2 and 3-3.

3.2.1 Purchase Housing Affordable to Low-and Middle-Income Households

Phase 1 of the NRSP makes provision for 83 single-family purchase units designated for low-income households, and 53 single-family purchase units designated for participation in the middle-income component of Roseville's Housing Affordability program. Phase 2 will provide no single-family, low-income purchase units and ~~57~~ 46 middle-income purchase units. Phase 3 will provide no single-family, low-income purchase units and ~~17~~ 28 middle-income purchase units. These low-income and middle-income affordable units have been allocated to specific parcels as set forth in Tables 3-1, 3-2 and 3-3.

Dwelling units identified for single-family purchase housing are designated on specific parcels to be

TABLE 3-1
PHASE 1 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Eskaton	EV-1	HDR	R3/SA	400	40	30		10
Mourier 140	M-1	HDR	R3	131	118	118		
Mourier 140	M-3	LDR	RS/DS	115	5			5
Diamond Creek	DC-7	MDR	RS/DS	72	65		40	25
Diamond Creek	DC-8	HDR	R3	200	26	26		
Woodcreek North	WN-4	LDR	R1/DS	142	22		22	
Woodcreek North	WN-5	LDR	RS/DS	136	34		21	13
TOTAL UNITS IN PHASE 1: 2509 x 10% =				251	310	174	83	53
<i>AFFORDABLE UNITS = 10% OF ALL UNITS IN PHASE 1</i>								

TABLE 3-2
PHASE 2 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Walaire 160	W-2	LDR	RS/DS	52	11			11
Woodcreek West	WW-14	MDR	RS	140	46			46
Woodcreek West	WW-16	HDR	R3	224	45	45		
Woodcreek West	WW-17	HDR	R3/SA	110	110	110		
TOTAL UNITS IN PHASE 2: 2,466 2,261 x 10% = 247 226					212 201	155		57 46

TABLE 3-3
PHASE 3 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Doctors Ranch	DR-1	LDR	RS/DS	60	17			17
Doctors Ranch	DR-4	LDR	RS/DS	293	28			28
TOTAL UNITS IN PHASE 3: 669 x 10% = 67 72					17 28			17 28

NOTE: The City and landowners have negotiated Affordable Housing credits to achieve the required number of affordable housing units based on the following: an increased percentage of affordable housing units for low income purchase units; an increase from 15 years to 30 years the term that affordability is required to be maintained on certain affordable units; and no City subsidy is required to achieve the low income rental units.

Reso. 02-18
P-11

TABLE 6-2

**SUMMARY OF PARK AREA REQUIRED AND PROVIDED FOR THE ENTIRE PLAN AREA
(PHASE 1, 2 AND 3)**

	Phase 1	Phase 2	Phase 3	TOTAL
Total Park Area Required	52.8	56.3 51.7	15.5 16.4	120.9
Credited Park Area Provided	88.44	35.43	9.0	132.9

TABLE 6-3

SUMMARY OF PARK AREA CALCULATION

	PHASE 1				PHASE 2		PHASE 3
	Woodcreek North	Diamond Creek	Eskaton Village	Mourier 140	Woodcreek West	Mourier 160	Drs. Ranch
Rezoned Area Total Acreage	232.9	308.8	52.1	140.5	492.6	161.0	160.0
Total Units	566	997	400	511	1882	452 379	669 715
All Residential Units (less Eskaton)	566	997		511	1882	452 379	669 715
Population	1,438	2,532	600	1,298	4,781	1,148 263	1,700 1,818
Required Total Park Acreage (.009 ac/ resident)	12.9	22.8	5.4	11.7	43.0	16.3 8.7	15.3 16.4
Open Space	45.4	19.6	0.0	13.4	57.3	35.6	0.0
Proposed Net Active Park Acreage	42.8	35.1	0.0	2.7	12.7	13.4	9.0
Proposed Total Park and Open-Space Acreage	88.2	54.7	0.0	16.1	70.0	49.0	9.0
Park Acreage Credit (See Table 6-4)	47.34	37.1	0.0	4.0	18.43	17.0	9.0

TABLE 6-5
SCHOOL FACILITY REQUIREMENTS

Phase 1

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
Grades K-6	units	1,778	331			
		0.4039	0.1456	766	600	1.28
	Grades 7-8	0.1106	0.0395	210	800	0.26
Total:				976	1,400	
Roseville High School District						
Grades 9-12	units	1,778	331			
		0.2362	0.0445	435	1800	0.24
	Total:			435	1800	

Phase 2

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
Grades K-6	units	379				
		0.4039	0.1456	153	600	0.26
	Grades 7-8	0.1106	0.0395	42	800	0.05
Total:				195	1,400	
Roseville High School District						
Grades 9-12	units	1,929	332			
		0.2362	0.0445	470	1800	0.26
	Total:			470	1800	

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Dry Creek Joint Elementary School District (Woodcreek West Only)						
Grades K-5	units	1,550	332			
		0.3480	0.1710	596	750	0.79
	Grades 6-8	0.1140	0.0900	207	1,100	0.19
Total:				803	1,850	

Phase 3

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
Grades K-6	units	715				
		0.4039	0.1456	289	600	0.48
	Grades 7-8	0.1106	0.0395	79	800	0.10
Total:				368	1,400	
Roseville High School District						
Grades 9-12	units	715				
		0.2362	0.0445	169	1800	0.09
	Total:			169	1800	

Phase 1,2 and 3 Combined

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
Grades K-6	units	2,872	331			
		0.4039	0.1456	1,208	600	2.01
	Grades 7-8	0.1106	0.0395	331	800	0.41
Total:				1,539	1,400	
Dry Creek Joint Elementary School District (Woodcreek West Only)						
Grades K-5	units	1,550	332			
		0.3860	0.1710	655	750	0.87
	Grades 6-8	0.1320	0.0900	234	1,100	0.21
Total:				890	1,850	
Roseville High School District						
Grades 9-12	units	4,422	663			
		0.2362	0.0445	1,044	1800	0.58
	Total:			1,044	1800	

Total units does not include 110 dwellings designated for senior, handicapped and disabled persons in Parcel WW-17.

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p. 12

RESOLUTION NO. 02-130

SPA 01-10

NRSP

AMENDING THE TEXT AND THE LAND USE MAP
OF THE NORTH ROSEVILLE SPECIFIC PLAN
PARCEL WW-15 (1890 JUNCTION BOULEVARD)

WHEREAS, a proposal for amendment to the land use map and text of the North Roseville Specific Plan (NRSP), referring to Parcel WW-15 (1890 Junction Boulevard) was submitted by the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on March 28, 2002; and

WHEREAS, on April 17, 2002, the City Council held a public hearing at which time the proposed amendment was considered; and

WHEREAS, the amendment as proposed is consistent with the adopted City of Roseville General Plan; and

WHEREAS, the amendment is consistent with the Negative Declaration prepared and certified for the NRSP; and

WHEREAS, it is the desire of this City Council to approve said amendments to the text of the North Roseville Specific Plan as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the text of the Specific Plan is hereby amended to read as follows:

Reduce the minimum distance between median openings from 650 feet to not less than 600 feet, in order to permit a new median cut on Junction Boulevard as shown on Exhibit "A" attached hereto.

PASSED AND ADOPTED by the Council of the City of Roseville this 17th day of April, 2002, by the following vote on roll call:


AYES COUNCILMEMBERS: Earl Rush, Richard Roccucci, Gina Garbolino, Rocky Rockholm, Claudia Gamar

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: None


MAYOR

ATTEST:


City Clerk

should incorporate the minimum stacking distance necessary to address traffic expectations. Median openings on Blue Oaks Boulevard shall be limited to signalized intersections at Diamond Creek Boulevard, Woodcreek Oaks Boulevard, and Collector N.

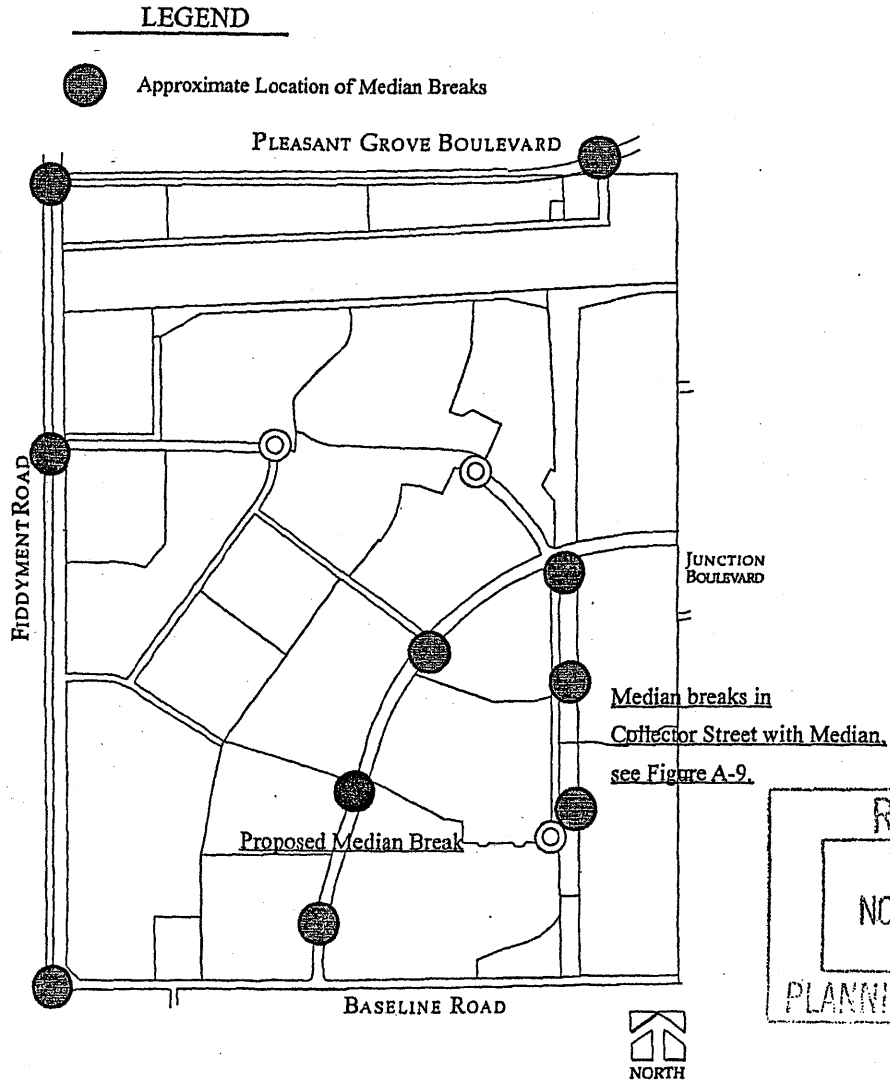
The minimum distance between median openings along Woodcreek Oaks Boulevard, Junction Boulevard and Pleasant Grove Boulevard shall be not less than ~~650~~-600- feet measured from the center line of one opening to the center line of the next opening. Parcels DC-8 and M-30, are exempt from this

restriction, and the spacing between openings adjacent to these parcels shall be established at the time of site review.

All median openings are subject to review and approval by the City in conformance with its improvement standards.

No turn pockets shall be permitted along Baseline Road except as required to provide access to Parcels WW-8, WW-51 (Freerun Park) and Parcel WW-71, the proposed school administration facility for the Dry Creek School District.

FIGURE A-2
APPROXIMATE LOCATION OF MEDIAN BREAKS ON PLEASANT GROVE BLVD., JUNCTION BLVD. AND FIDDYMENT ROAD



RECEIVED
 NOV 20 2001
 PLANNING DEPARTMENT

RESOLUTION NO. 02-62

~~67A-01-05~~

5/11/06 01-06

AMENDING THE TEXT AND THE LAND USE MAP OF THE NORTH ROSEVILLE SPECIFIC PLAN PARCEL WW-16 (1001 WESTHILLS DRIVE)

WHEREAS, a proposal for amendment to the land use map and text of the North Roseville Specific Plan (NRSP) Parcel WW-16 (1001 Westhills Drive) was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on November 29, 2001; and

WHEREAS, on February 6, 2002, the City Council held a public hearing at which time the proposed amendment was considered; and

WHEREAS, the amendment as proposed is consistent with the adopted City of Roseville General Plan; and

WHEREAS, the amendment is consistent with the EIR prepared and certified for the NRSP; and

WHEREAS, it is the desire of this City Council to approve said amendments to the land use map of the North Roseville Specific Plan as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the text of the Specific Plan is hereby amended to read as follows:

Change the land use designation with respect to Parcel WW-16 from High Density Residential (HDR-20.4 – 224 units) to Medium Density Residential (MDR 8.4 – 92 units)

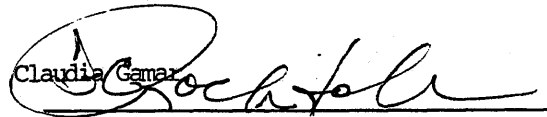
FURTHER RESOLVED that this Resolution will take effect on the same date Ordinance No. 3806 becomes effective.

PASSED AND ADOPTED by the Council of the City of Roseville this 6th day of February, 2002, by the following vote on roll call:


AYES COUNCILMEMBERS: Earl Rush, Richard Roccucci, Rocky Rockholm

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: Gina Garbolino, Claudia Gamar


MAYOR

ATTEST:


City Clerk



2. LAND USE

2.1 LAND-USE SUMMARY AND CONCEPT

2.1.1 Land-Use Summary

The North Roseville Specific Plan proposes a mix of residential neighborhoods, schools, parks, and supporting commercial land uses adjacent to a major regional employment center. The proposed land uses are predominantly residential, recreation and open space. The plan also includes sites for retail and professional services. Among these are unique opportunities for specialty retail, restaurants and office uses overlooking the natural creeks adjacent to the proposed Diamond Creek Park and Pleasant Grove Park.

The North Roseville Specific Plan Area (Phase 1, Phase 2 and Phase 3) proposes a total of 5,512 dwelling units on 1,552 acres at full build-out. Phase 1 proposes 2,509 dwelling units (including 400 attached-housing units in the Eskaton Village) on 738.4 acres. Phase 2 includes 2,334 dwelling units on 653.6 acres. Phase 3 proposes 669 dwelling units on 160.0 acres. Table 2-1 contains a summary of land uses for Phase 1, Phase 2 and Phase 3.

**TABLE 2-1
SUMMARY OF LAND USE**

PHASE 1

Eskaton Village, Diamond Creek Woodcreek North and Mourier 140		
<i>Land Use</i>	<i>Net Acreage</i>	<i>Units</i>
Low-Density Residential (LDR)	381.5	1,706
Medium-Density Residential (MDR)	9.3	72
High-Density Residential (HDR)	16.4	331
Community Commercial (CC)	93.3	
Eskaton Village (52.1 ac)		400
Business Professional (BP)	0.0	
Park (PR)	79.7	
Public/Quasi-Public (P/QP)	39.5	
Open Space (OS)	80.2	
Major Road ROW	38.5	
Subtotal Phase 1	738.4	2,509

PHASE 2

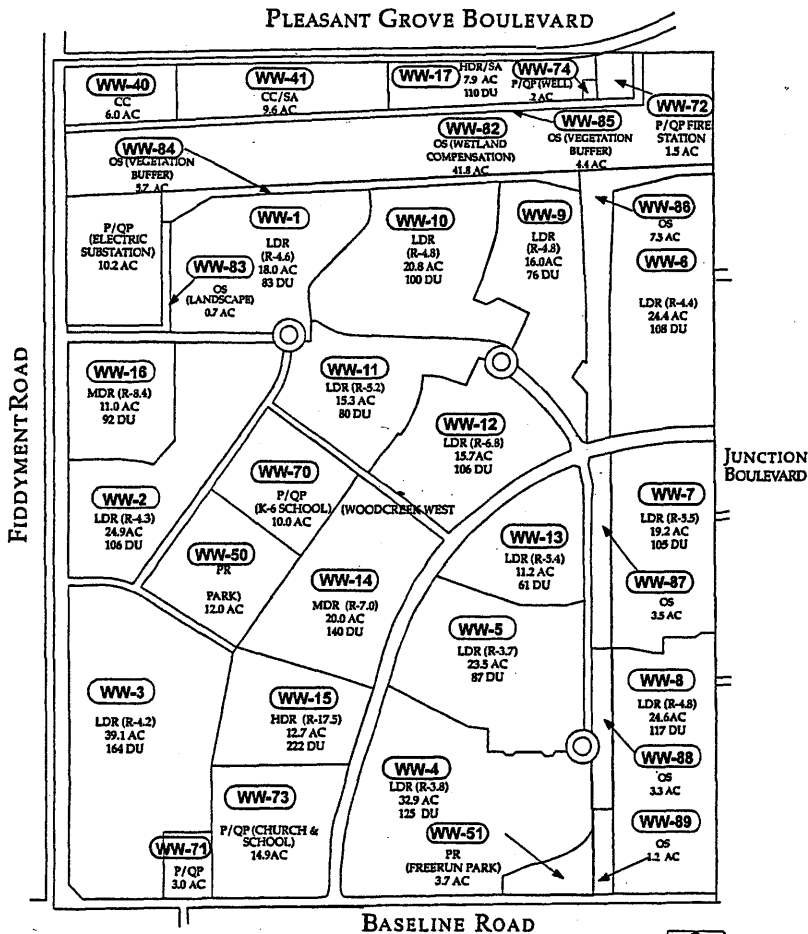
Woodcreek West and Mourier 160		
<i>Land Use</i>	<i>Net Acreage</i>	<i>Units</i>
Low-Density Residential (LDR)	392.0	1,770
Medium-Density Residential (MDR)	31.0	232
High-Density Residential (HDR)	20.6	332
Community Commercial (CC)	15.6	
Park (PR)	29.1	
Public/Quasi-Public (P/QP)	29.6	
Open Space (OS)	103.7	
Major Road (ROW)	32.0	
Subtotal Phase 2	653.6	2,334

PHASE 3

Doctors Ranch		
<i>Land Use</i>	<i>Net Acreage</i>	<i>Units</i>
Low-Density Residential (LDR)	143.2	669
Park (PR)	9.0	
Major Road (ROW)	7.8	
Subtotal Phase 3	160.0	669
Total Phase 1, Phase 2 & Phase 3	1,552.0	5,512

TABLE 2-5
LAND USE MAP
PHASE 2: NEIGHBORHOOD D

FIGURE 2-5
LAND USE MAP
PHASE 2: NEIGHBORHOOD D



Woodcreek West					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acres	Units
WW-1	R1	LDR	4.6	18.0	83
WW-2	R1/DS	LDR	4.3	24.9	106
WW-3	R1	LDR	4.2	39.1	164
WW-4	R1	LDR	3.8	32.9	125
WW-5	R1/DS	LDR	3.7	23.5	87
WW-6	R1	LDR	4.4	24.4	108
WW-7	RS	LDR	5.5	19.2	105
WW-8	RS	LDR	4.8	24.6	117
WW-9	R1	LDR	4.8	16.0	76
WW-10	R1	LDR	4.8	20.8	100
WW-11	RS	LDR	5.2	15.3	80
WW-12	RS	LDR	6.8	15.7	106
WW-13	RS	LDR	5.4	11.2	61
WW-14	RS	MDR	7.0	20.0	140
WW-15	R3	HDR	17.5	12.7	222
WW-16	RS/DS	MDR	8.4	11.0	92
WW-17	R3/SA	HDR	13.9	7.9	110
WW-40	CC	Commercial		6.0	
WW-41	CC/SA	Commercial		9.6	
WW-50	PR	Park/Detention		12.0	
WW-51	PR	Park/Detention		3.7	
WW-70	P/QP	Elementary School		10.0	
WW-71	P/QP	School Administration		3.0	
WW-72	P/QP	Fire Station		1.5	
WW-73	P/QP	Church/ School		14.9	
WW-74	P/QP	Well Site		0.2	
WW-82	OS	Wetland Compensation		41.8	
WW-83	OS	Open Space(Landscape)		0.7	
WW-84	OS	Open Space (Vegetation Buffer)		5.7	
WW-85	OS	Open Space (Vegetation Buffer)		4.4	
WW-86	OS	Open Space		7.5	
WW-87	OS	Open Space		3.5	
WW-88	OS	Open Space		3.3	
WW-89	OS	Open Space		1.2	
		ROW- Woodcreek West		26.4	
				492.6	1,882



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NRSP contains the regulations and is incorporated into the ordinance establishing the zone districts.

Where the SA combining zone is used, it is to identify specific uses permitted within the zone and not to deviate from any development standards for the respective zone districts. The uses for each of the SA districts are included in Section 2.3.2.1 and 2.3.2.2 of this Specific Plan. The use of a SA combining zone in the NRSP will be followed by a "NR" to reference the "North Roseville" Specific Plan.

All use types are fully defined in Chapter 19.08 of the Roseville Zoning Ordinance. Use types not identified as principally, administratively or conditionally permitted are prohibited in the districts. Use types identified as administratively or conditionally permitted require approval of an Administrative or Conditional Use Permit as specified in Article II of the Zoning Ordinance.

Development Standards (DS) Overlay

The development standards for each zone district are as specified in the City of Roseville Zoning Ordinance and Community Design Guidelines, and may be supplemented by the Design Guidelines for this Specific Plan. Where it is anticipated that Development Standards will vary from zoning ordinance requirements, a Development Standard (DS) overlay has been applied.

Affected parcels have only been listed for those parcels that contain a "DS" or an "SA" combining zone. Refer to land use map for the zoning of all other parcels.

2.2.1 Residential Land Uses

2.2.1.1 Low-Density Residential Land Use

Land Use: Low-Density Residential (0.5-6.9 du/acre)

Zoning: R1, RS, R1/DS, RS/DS

Purpose/Intent

The Low-Density Residential (LDR) category includes dwelling units in configurations up to 6.9 dwelling units per gross acre (exclusive of open space and adjacent collector streets). The plan proposes 1,706 LDR dwelling units on 381.5 acres within Phase 1, 1,770 LDR dwelling units on 392.0 acres in Phase 2, and 669 LDR dwelling units on 143.2 acres in Phase 3. The density range allows some flexibility in selecting dwelling unit types and parcel configurations to suit particular site conditions and housing needs. Dwelling types in this density range could include attached or detached single family dwelling units. Small lots, clustered lots, conventional and large lots are anticipated in this density range. The intent is to provide flexibility of dwelling unit type and parcel configuration based on individual neighborhood and site conditions.

Permitted Uses

Permitted uses are specified by the Single Family Residential (R1) and the Small Lot Residential (RS) District, Section 19.10.020 of the Roseville Zoning Ordinance.

Development Standards

The development standards for R1 and RS zone district shall be as specified by Residential Zone General Development Standards, Section 19.10.030. The development standards for R1 and RS may be modified from the general district standards when the general zone is combined with a Development Standards (DS) overlay zone.

(a) Amended Development R1/DS Standards:

R1/DS: Affected Parcels: M-4, M-5, M-6, WN-4, W-1, W-3, W-4, W-5.

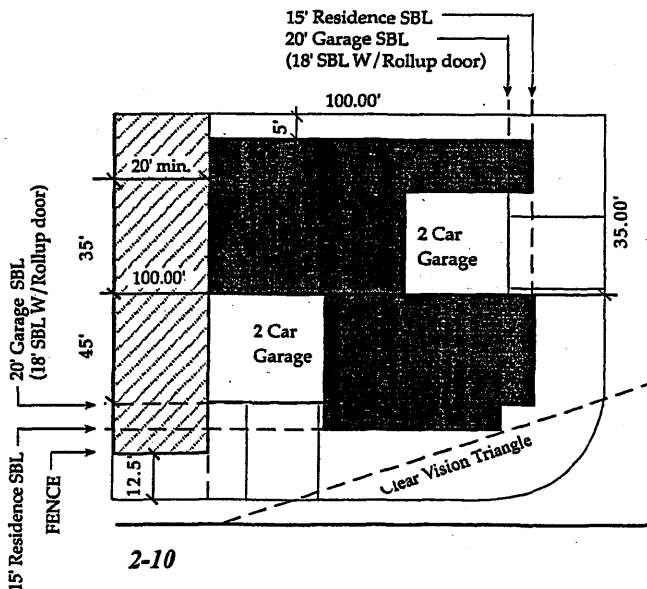
These parcels may allow standard single-family product with halfplexes on corner lots, to meet the affordable housing goals and allow diversity and innovation in housing types. For this reason, the development standards for these parcels have been modified to allow for this housing type on corner lots. Unless otherwise specified, the development standards remain the same as the Residential Zone General Development Standards, Section 19.10.030 for all other lots. Table 2-7 lists only those standards which deviate from the general zone development standards for the R1 zone for halfplex lots. The Standards are

TABLE 2-7
R1/DS AMENDED DEVELOPMENT STANDARDS FOR
HALFPLEX LOTS

Development Feature	R1/DS Halfplex Units
Area, Interior Lot	3500 sq. ft.
Area Corner Lot	4500 sq. ft. *
Width, Interior Lot	35 ft.
Width, Corner Lot	45 ft.
Minimum Front Yard Setback to Ground Floor	15 ft.
Minimum Front Yard Setback to Second Floor	20 ft.
Minimum Side Yard for Adjacent Halfplex Units	0 ft.
Minimum Rear Yard Setback	20 ft.
Garage Setback with Rollup Door	18 ft.
Site Coverage	45%

* Area used to provide a corner radius shall be included in the lot-area calculations.

FIGURE 2-7
TYPICAL HALFPLEX SCHEMATIC



illustrated in Figure 2-7. For parcel M-5 a DRRS may be processed with the map to modify lot width only.

(b) Amended Development R1/DS and R1/SA Standards:

R1/DS and R1/SA: Affected Parcels: M-4, M-5, M-6, W-1, W-3, W-4, W-5, WW-2, and WW-5

These parcels may allow standard single-family dwellings with reduced front yard setbacks for side entry garages. The development standards for single dwellings on R-1 lots remain the same as the Residential Zone General Development Standards, Section 19.10.030 except that the maximum lot coverage shall be 45 percent on single story dwellings and the minimum front yard setback shall be fifteen feet for side entry garages only. Table 2-8 lists only those standards which deviate from the general zone development standards for the R1 zone.

TABLE 2-8
R1/DS AMENDED DEVELOPMENT STANDARDS FOR
SINGLE STORY

Development Feature	R1/DS
Minimum Front Yard Setback for Side Entry Garages	15 ft.
Garage Setback with Roll up Door	18 ft.
Site Coverage for Single Story Units	45%

* 45% coverage may apply provided:

- No lots with site constraints (such as native oak trees) shall have reduced front yard setbacks and increased coverage.
- No more than 33% of the home within a subdivision shall have reduced front yard setbacks: and
- No more than three units in a row with the reduced front yard setbacks and increased coverage.

(c) Amended Development R1/DS Standards

R1/DS: Affected Parcels: W-1, W-3, W-4 and W-5

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p. 3

The amended development standards identified in (a) and Table 2-8 shall apply. In addition, the following open space setback shall apply. The intent is to provide an adequate fire safety setback along the parcels adjacent to open space corridors. Fencing adjacent to the open space shall be non-combustible wrought iron type as required in the Design Guidelines Section 9.3.2. Table 2-8 lists those standards which deviate from the general development standards for the R-1 zone for open space lots.

(d) Amended Development RS/DS Standards

RS/DS: Affected Parcels: WN-5, DC-7, W-2

Parcels in the Low Density Residential RS zone are intended to provide housing that may include small-lot, single-family detached, cluster, or attached housing. Because of the housing product variability possible within this density range, it is more difficult to define the Development Standards (DS) overlay zone at the specific-plan stage, although deviation to the RS development standards are anticipated. Development standards for these properties will be established through the processing of a Design Review Permit for Residential Subdivisions (DRRS) concurrent with the tentative map for each parcel, and may include deviations to lot area and usable rear yard.

(e) Special Area District and Amended Development RS/SA Standards

RS/SA: Affected Parcels: DR-1

As a condition of the SA zoning, no development of the affected parcels shall be allowed prior to an effective development agreement being entered into with the City and recorded against such parcels.

2.2.1.2 Low-Density Residential/Equestrian

Land Use: Low-Density Residential (0.5-6.9 du/acre)

Zoning: R1/SA, OS

Purpose/Intent

Parcel DC-9A (5.8 acres) is zoned R1/SA for single-family residential and equestrian uses. Parcel DC-9B (1.9 acres), within the flood plain of Pleasant Grove Creek, is zoned OS for open-space uses, which may include an unenclosed, lighted equestrian arena and/or pasture area, and other passive recreational uses associated with an equestrian facility. All uses within designated open space shall be consistent with the City's flood protection regulations.

Permitted Uses

Parcel 9A has a zone district of Single-Family Residential/Special Area (R-1/SA) intended to reflect the specialized nature and uses of a private equestrian facility. The zone district includes all uses as specified in the R1 District (Section 19.10.021) and the following uses consistent with Title 7 of the RMC:

- Barn with air-conditioned and heated areas
- Stable
- Paddocks
- Indoor and outdoor lighted arena
- Other facilities (outbuildings, etc.) associated with the operation of an equestrian facility
- Irrigated pastures

The special area overlay allows Commercial Recreation, Residential Recreation Facilities as a permitted use. The Residential Recreation Facility is intended to be for a private equestrian facility, which includes:

- Riding of horses by persons other than the occupants of the premises or their non-paying guests
- Boarding
- Riding arenas
- Riding schools & academies
- Horse exhibition facilities such as clinics and seminars, but not competitive events such as

horse racing or rodeos

- Other uses requiring a business license, including ranch office

The uses associated with the Commercial Recreation use type, as defined above, shall occur on a parcel not less than 3 acres in size, exclusive of privately owned open space.

The equestrian facility shall be limited to a maximum attendance, at any one time, of 25 people. Up to 75 people at any one time, a maximum of four times a year, may also be permitted. Attendance exceeding either 75 people or 4 times per year may be permitted subject to approval of a conditional use permit.

Development Standards

As specified by the Residential Zone General Development Standards, for R1 Section 19.10.030 and OS, and Title 7 of the RMC. An Administrative Permit is required for all accessory buildings or structures in excess of 700 square feet, consistent with Chapter 19.22 of the Zoning Ordinance.

2.2.1.3 Medium-Density Residential Land Use

Land Use: Medium-Density Residential (7.0-12.9 du/acre)

Zoning: RS/DS

Purpose/Intent

The Medium-Density Residential (MDR) category includes dwelling units in configurations of 7.0 to 12.9 dwelling units per gross acre. The plan proposes 72 MDR dwelling units on 9.3 acres within Phase 1, and 232 MDR dwelling units on 31.0 acres in Phase 2. Dwelling units in this density range typically include detached unit types; however, attached units on small lots are also possible. Some examples of detached dwellings on small lots would include cottage housing.

Permitted Uses

As specified by the Small Lot Residential (RS) District, Section 19.10.020 of the Roseville Zoning Ordinance.

Development Standards

RS/DS Affected Parcels: DC-7, WW-14, WW-16

It is anticipated that a project may be proposed that varies from the RS Development Standards as specified in the Roseville Zoning Ordinance Section 19.10.030 or the Supplemental RS Design Standards as specified in the Roseville Zoning Ordinance, Section 19.10.040. Because of the product variability possible within this density range, it is difficult to predict deviations to the RS zone at the Specific Plan stage, although deviations are anticipated. Development standards and/or the Supplemental Design Standards for these properties will be established through the processing of a DRRS concurrent with the tentative map for each parcel and may include deviations to lot area and usable rear yard.

Specific RS Development Standards for Parcel WW-16 are provided in Table 2-9.

**TABLE 2-9
DEVELOPMENT STANDARDS FOR PARCEL WW-16**

Development Feature	RS/DS Parcel W-16
Area, Interior Lot	3322 sq. ft.
Area Corner Lot	3930 sq. ft.
Width, Interior Lot	44 ft.
Width, Corner Lot	53.5 ft.
Minimum Front Yard Setback to Ground Floor	14 ft.
Minimum Front Yard Setback to Garage	20 ft.
Garage Setback with Rollup Door	18 ft.
Minimum Rear Yard Setback	15 ft.
Minimum Useable Rear Yard	710sq. ft.

2.2.1.4 High-Density Residential Land Use

Land Use: High-Density Residential (13.0 du/acre and above)

Zoning: R3

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79

Purpose/Intent

The High-Density Residential (HDR) category includes dwelling units in configurations of 13.0 dwelling units per gross acre and above, typically apartments. The plan proposes 331 HDR dwelling units on 16.4 acres within Phase 1, and 332 dwelling units on 20.6 acres in Phase 2.

Permitted Uses

As specified by the Attached Housing R3 District, Section 19.10.020 of the Roseville Zoning Ordinance.

Development Standards

As specified by Residential Zone General Development Standards, Section 19.10.030.

2.2.1.5 Woodcreek West Seniors, Handicapped and Disabled Persons Residential and Commercial

Land Use: High Density Residential (13.0 du/acre and above)

Zoning: R3/SA

Purpose/Intent

A 7.9 acre site (WW-17) in Neighborhood D (Phase 2) is designated to accommodate high density residential units affordable to low income seniors, handicapped and/or disabled persons and commercial uses.

The intent is to provide a mix of compatible residential and commercial uses. Commercial uses may be an integral portion of the residential use, or a separate, contiguous use. The commercial use is intended to provide retail and services used by, but not exclusively restricted to, the residents of the adjacent housing. Uses that may be anticipated in commercial area include those identified in the Neighborhood Commercial Use Type Classification (City Zoning Ordinance), specifically including medical and dental offices, clinics, business-professional offices, grocery or deli, restaurants and cafes, and personal services

such as beauty salons. The purpose is to add the value of commercial uses to the parcel and thereby assist in development of the affordable senior, handicapped and disabled residential units.

The residential uses may include clustered or attached residences, high density apartment residences, assisted living apartments, and a nursing facility. The buildings will be in single and multi-story configurations and connected by interior roads and walking paths. The residential and commercial uses may include recreation facilities or a senior's center.

Permitted Uses

The High Density Residential/Special Area (R3/SA) zone district includes residential units and commercial use. The SA overlay includes commercial use types that are compatible with an assisted living facility that would otherwise require conditional use permits. The R3/SA zone in Parcel WW-17 amends the R3 district to change the uses listed on Table 2- 10 from "Conditionally Permitted" to "Permitted". All other permitted uses remain the same.

Development Standards

Development standards for the R3/SA zone will be as specified by Residential Zone General Development Standards, Section 19.10.030.

**TABLE 2-10
PERMITTED COMMERCIAL USE TYPES AS
MODIFIED IN THE R3/SA ZONE
WOODCREEK WEST SENIOR, HANDICAPPED
AND DISABLED RESIDENTIAL AND COMMERCIAL
PARCEL WW-17**

COMMERCIAL USE TYPES	R3/SA
Community Care	P
Long Term Care	P
Day Care	P

P Principally Permitted

NOTE: All other use types remain permitted or conditionally permitted as specified by the R3 district.



3. HOUSING

3.1 HOUSING OBJECTIVE

The North Roseville Specific Plan proposes development of dwelling units in a variety of types and densities. The plan includes 2,509 dwelling units in Phase 1, 2,334 dwelling units in Phase 2 and 669 dwelling units in Phase 3. The objective of the Specific Plan housing program is to satisfy the General Plan goal that ten percent (10%) of new housing be affordable to very low, low, and middle income residents.

3.2 HOUSING AFFORDABILITY PROGRAM

The North Roseville Specific Plan complies with the General Plan Housing Element by designating ten percent (10%) of the proposed housing stock affordable to very low, low and middle income households. The affordable-housing program will include a mix of:

- Purchase Housing Affordable to Middle-Income Households (81% to 100% of Median)
- Purchase Housing Affordable to Low-Income Households (70% to 80% of Median)
- Rental Housing Affordable to Low-Income Households (51% to 80% of Median)
- Rental Housing Affordable to Very Low-Income Households (less than 50% of Median)

Approximately twenty-five percent of the affordable housing requirement will be met through purchase housing affordable to middle-income residents. Approximately seventy-five percent of the affordable housing requirement will be provided through a combination of purchase and rental housing affordable to low-and very low-income residents.

The affordable dwellings will be designated in all neighborhoods in order to achieve a distribution throughout the plan area.

Property owners will enter into supplemental affordable-housing development agreement or other form as required by the City, that set the initial rent or purchase price for low and middle-income households, establish the criteria and basis for annual rent or purchase-price increases, and provide the City a method to monitor the rents and purchase price paid by low-income households.

The affordable housing allocation under each Phase is shown in Tables 3-1, 3-2 and 3-3.

3.2.1 Purchase Housing Affordable to Low-and Middle-Income Households

Phase 1 of the NRSP makes provision for 83 single-family purchase units designated for low-income households, and 53 single-family purchase units designated for participation in the middle-income component of Roseville's Housing Affordability program. Phase 2 will provide 45 single-family, low-income purchase units and 57 middle-income purchase units. Phase 3 will provide no single-family, low-income purchase units and 17 middle-income purchase units. These low-income and middle-income affordable units have been allocated to specific parcels as set forth in Tables 3-1, 3-2 and 3-3.

Dwelling units identified for single-family purchase housing are designated on specific parcels to be

Proposed
2-5

TABLE 3-1
PHASE 1 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Eskaton	EV-1	HDR	R3/SA	400	40	30		10
Mourier 140	M-1	HDR	R3	131	118	118		
Mourier 140	M-3	LDR	RS/DS	115	5			5
Diamond Creek	DC-7	MDR	RS/DS	72	65		40	25
Diamond Creek	DC-8	HDR	R3	200	26	26		
Woodcreek North	WN-4	LDR	R1/DS	142	22		22	
Woodcreek North	WN-5	LDR	RS/DS	136	34		21	13
TOTAL UNITS IN PHASE 1: 2509 x 10% =				251	310	174	83	53
<i>AFFORDABLE UNITS = 10% OF ALL UNITS IN PHASE 1</i>								

TABLE 3-2
PHASE 2 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Walaire 160	W-2	LDR	RS/DS	52	11			11
Woodcreek West	WW-14	MDR	RS	140	46			46
Woodcreek West	WW-16	MDR	RS/DS	92	45		45	
Woodcreek West	WW-17	HDR	R3/SA	110	110	110		
TOTAL UNITS IN PHASE 2 2,334 x 10% =				234	110	45	57	

TABLE 3-3
PHASE 3 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Doctors Ranch	DR-1	LDR	R1/DS	60	17			17
TOTAL UNITS IN PHASE 3: 669 x 10% =				67	17			17

NOTE: The City and landowners have negotiated Affordable Housing credits to achieve the required number of affordable housing units based on the following: an increased percentage of affordable housing units for low income purchase units; an increase from 15 years to 30 years the term that affordability is required to be maintained on certain affordable units; and no City subsidy is required to achieve the low income rental units.

TABLE 6-2
SUMMARY OF PARK AREA REQUIRED AND PROVIDED FOR THE ENTIRE PLAN AREA
(PHASE 1, 2 AND 3)

	Phase 1	Phase 2	Phase 3	TOTAL
Total Park Area Required	52.8	53.3	15.5	121.4
Credited Park Area Provided	88.44	35.43	9.0	132.9

TABLE 6-3
SUMMARY OF PARK AREA CALCULATION

	PHASE 1				PHASE 2		PHASE 3
	Woodcreek North	Diamond Creek	Eskaton Village	Mourier 140	Woodcreek West	Mourier 160	Drs. Ranch
Rezoned Area Total Acreage	232.9	308.8	52.1	140.5	492.6	161.0	160.0
Total Units	566	997	400	511	1,882	452	669
All Residential Units (less Eskaton)	566	997		511	1,882	452	669
Population	1,438	2,532	600	1,298	4,781	1,148	1,700
Required Total Park Acreage (.009 ac/ resident)	12.9	22.8	5.4	11.7	43.0	10.3	15.3
Open Space	45.4	19.6	0.0	13.4	57.3	35.6	0.0
Proposed Net Active Park Acreage	42.8	35.1	0.0	2.7	12.7	13.4	9.0
Proposed Total Park and Open-Space Acreage	88.2	54.7	0.0	16.1	70.0	49.0	9.0
Park Acreage Credit (See Table 6-4)	47.34	37.1	0.0	4.0	18.43	17.0	9.0

Reserve

TABLE 6-5
SCHOOL FACILITY REQUIREMENTS

Phase 1

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
	units	1,809	265			
Grades K-6		0.4039	0.1456	769	600	1.28
Grades 7-8		0.1106	0.0395	211	800	0.26
	Total:			980	1,400	
Roseville High School District						
	units	1,809	265			
Grades 9-12		0.2362	0.0445	439	1800	0.24
	Total:			439	1800	

Phase 2

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
	units	452				
Grades K-6		0.4039	0.1456	183	600	0.30
Grades 7-8		0.1106	0.0395	50	800	0.06
	Total:			233	1,400	
Roseville High School District						
	units	2,002	332			
Grades 9-12		0.2362	0.0445	488	1800	0.27
	Total:			488	1800	

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Dry Creek Joint Elementary School District (Woodcreek West Only)						
	units	1,550	222			
Grades K-5		0.3480	0.1710	577	750	0.77
Grades 6-8		0.1140	0.0900	197	1,100	0.18
	Total:			774	1,850	

Phase 3

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
	units	669				
Grades K-6		0.4039	0.1456	270	600	0.45
Grades 7-8		0.1106	0.0395	74	800	0.09
	Total:			344	1,400	
Roseville High School District						
	units	669				
Grades 9-12		0.2362	0.0445	158	1800	0.09
	Total:			158	1800	

Phase 1,2 and 3 Combined

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
	units	2,930	265			
Grades K-6		0.4039	0.1456	1,222	600	2.04
Grades 7-8		0.1106	0.0395	335	800	0.42
	Total:			1,557	1,400	
Dry Creek Joint Elementary School District (Woodcreek West Only)						
	units	1,550	222			
Grades K-5		0.3860	0.1710	636	750	0.85
Grades 6-8		0.1320	0.0900	225	1,100	0.20
	Total:			861	1,850	
Roseville High School District						
	units	4,480	597			
Grades 9-12		0.2362	0.0445	1,058	1800	0.59
	Total:			1,058	1800	

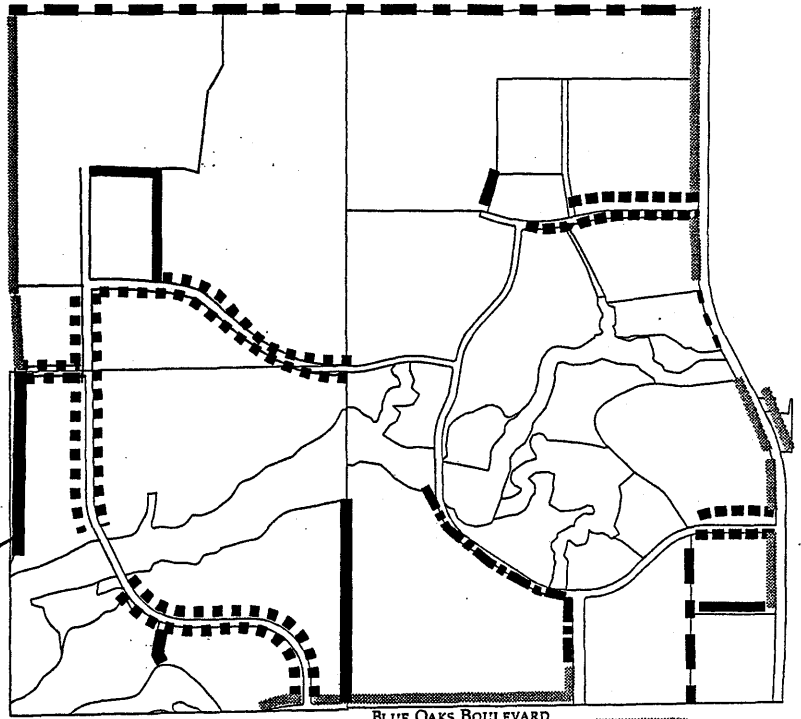
Total units does not include 110 dwellings designated for senior, handicapped and disabled persons in Parcel WW-17.

FIGURE A-13
LOCATION OF WALLS AND FENCES

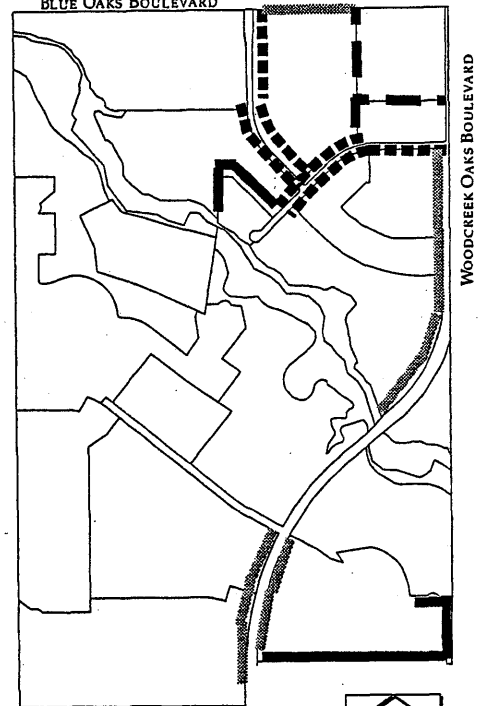
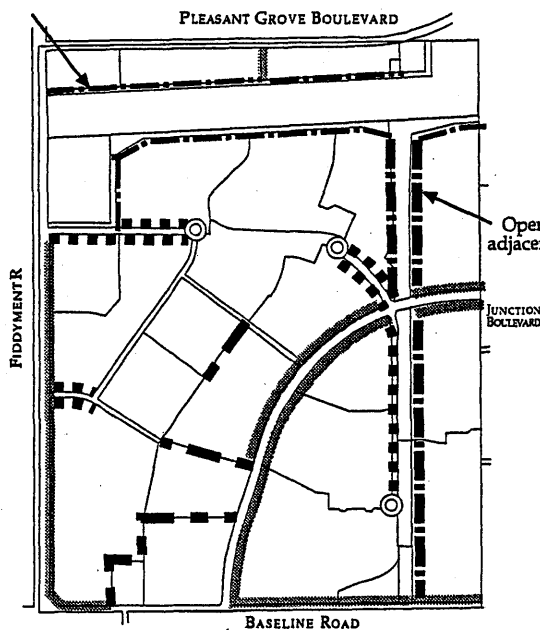
LEGEND

- ■ ■ ■ ■ Masonry Wall Between Non-Residential and Residential Use (See Figure A-14)
- ▬ Enhanced Masonry Wall Along Arterials (See Figure A-15)
- ■ ■ ■ ■ Enhanced Wood Fence (See Figure A-16)
- ▬ Solid Wood Fence (See Figure A-17)
- ■ ■ ■ ■ Enhanced Wood or Open Type Fence (See Figures A-16 and A-18)
- ▬ Open Type Fencing (See Section 6.4)
- - - - - Equestrian Fencing (See Figure A-20)

Solid Wood Fence required if Fiddymment Road is realigned, enhanced masonry wall required if Fiddymment Road is not realigned.



Open Fence unless otherwise required by wetland permitting authority.



Handwritten notes or signatures at the bottom right of the page.

EXHIBIT "B-1"

Land Uses for the Property
Woodcreek West

PLEASANT GROVE BOULEVARD

FIDDYMENT ROAD

JUNCTION BOULEVARD

BASELINE ROAD

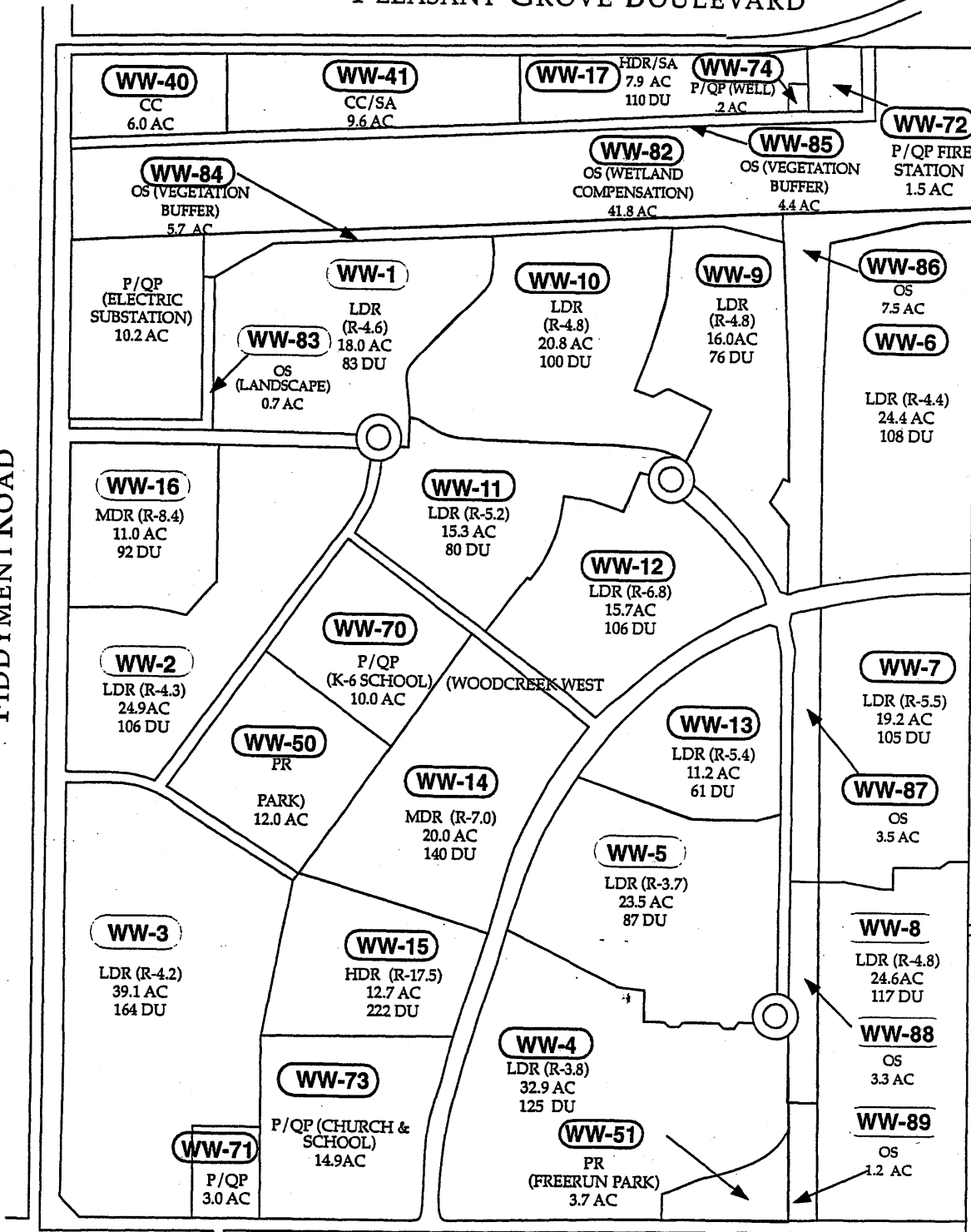


EXHIBIT "B-2"

Land Uses for the Property Woodcreek West

Woodcreek West						
Land Use by Parcel Table						
<i>Parcel</i>	<i>Zoning</i>	<i>Land Use</i>	<i>Density</i>	<i>Net Acres</i>	<i>Units</i>	
WW-1	R1	LDR	4.6	18.0	83	
WW-2	R1/DS	LDR	4.3	24.9	106	
WW-3	R1	LDR	4.2	35.4	148	
WW-4	R1	LDR	3.9	36.1	141	
WW-5	R1/DS	LDR	3.7	23.5	87	
WW-6	R1	LDR	4.4	24.4	108	
WW-7	RS	LDR	5.5	19.2	105	
WW-8	RS	LDR	5.2	22.6	117	
WW-9	R1	LDR	4.8	16.0	76	
WW-10	R1	LDR	4.8	20.8	100	
WW-11	RS	LDR	5.2	15.3	80	
WW-12	RS	LDR	6.8	15.7	106	
WW-13	RS	LDR	5.4	11.2	61	
WW-14	RS	MDR	8.3	16.9	140	
WW-15	R3	HDR	19.3	11.5	222	
WW-16	RS/DS	MDR	8.4	11.0	92	
WW-17	R3/SA	HDR	13.9	7.9	110	
WW-40	CC	Commercial		6.0		
WW-41	CC/SA	Commercial		9.6		
WW-50	PR	Park/Detention		12.0		
WW-51	PR	Park/Detention		3.7		
WW-70	P/QP	Elementary School		10.0		
WW-71	P/QP	School Administration		4.5		
WW-72	P/QP	Fire Station		1.5		
WW-73	P/QP	Church/ School		14.9		
WW-74	P/QP	Well Site		0.2		
WW-82	OS	Wetland Compensation		41.8		
WW-83	OS	Open Space(Landscape)		0.7		
WW-84	OS	Open Space (Vegetation Buffer)		5.7		
WW-85	OS	Open Space (Vegetation Buffer)		4.4		
WW-86	OS	Open Space		7.5		
WW-87	OS	Open Space		3.5		
WW-88	OS	Open Space		3.3		
WW-89	OS	Open Space		1.2		
WW-90	OS	Open Space (Landscape)		0.2		
		ROW- Woodcreek West		31.5		
				492.6	1,882	

Keso 02 02

Planning
ORIGINAL

RESOLUTION NO. 02-39

SPA 01-07

AMENDING THE TEXT OF THE NORTH ROSEVILLE SPECIFIC PLAN
WOODCREEK WEST PARCELS 2 & 5 (1700 MORNINGSTAR DRIVE)

WHEREAS, a proposal for amendment to the land use map and text of the North Roseville Specific Plan (NRSP), referring to Woodcreek West Parcels 2 & 5 (1700 Morningstar Drive) was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on December 13, 2001; and

WHEREAS, on January 16, 2002, the City Council held a public hearing at which time the proposed amendment was considered; and

WHEREAS, the amendment as proposed is consistent with the adopted City of Roseville General Plan; and

WHEREAS, the amendment is consistent with the EIR prepared and certified for the NRSP; and

WHEREAS, it is the desire of this City Council to approve said amendments to the text of the North Roseville Specific Plan as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the text of the Specific Plan is hereby amended to read as follows:

Change the zoning designation with respect to Woodcreek West Parcels 2 and 5 from Single Family Residential (R1) to Single Family Residential with Development Standards (R1/DS) as shown on Exhibit "A" attached hereto.

FURTHER RESOLVED that this Resolution will take effect on the same date Ordinance No. 3794 becomes effective.

PASSED AND ADOPTED by the Council of the City of Roseville this 16th day of January, 2002, by the following vote on roll call:

AYES COUNCILMEMBERS: Earl Rush, Richard Roccucci, Gina Garbolino, Rocky Rockholm
Claudia Gamar

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: None

Claudia Gamar
MAYOR

ATTEST:

Carolyn Peterson
City Clerk

EXHIBIT A

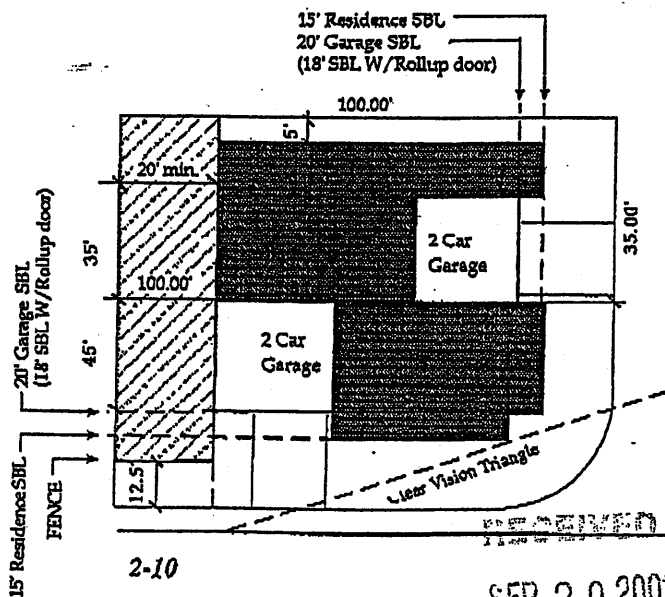
affordable housing goals and allow diversity and innovation in housing types. For this reason, the development standards for these parcels have been modified to allow for this housing type on corner lots. Unless otherwise specified, the development standards remain the same as the Residential Zone General Development Standards, Section 19.10.030 for all other lots. Table 2-7 lists only those standards which deviate from the general zone development standards for the R1 zone for halfplex lots. The Standards are illustrated in Figure 2-7. For parcel M-5 a DRRS may be processed with the map to modify lot width only.

TABLE 2-7
R1/DS AMENDED DEVELOPMENT STANDARDS FOR
HALFPLEX LOTS

Development Feature	R1/DS Halfplex Units
Area, Interior Lot	3500 sq. ft.
Area Corner Lot	4500 sq. ft. *
Width, Interior Lot	35 ft.
Width, Corner Lot	45 ft.
Minimum Front Yard Setback to Ground Floor	15 ft.
Minimum Front Yard Setback to Second Floor	20 ft.
Minimum Side Yard for Adjacent Halfplex Units	0 ft.
Minimum Rear Yard Setback	20 ft.
Garage Setback with Rollup Door	18 ft.
Site Coverage	45%

* Area used to provide a corner radius shall be included in the lot-area calculations.

FIGURE 2-7
TYPICAL HALFPLEX SCHEMATIC



(b) Amended Development R1/DS and R1/SA Standards:

R1/DS and R1/SA: Affected Parcels: M-4, M-5, M-6, W-1, W-3, W-4, W-5, WW-5, and WW-2 WW-13

These parcels may allow standard single-family dwellings with reduced front yard setbacks for side entry garages. The development standards for single dwellings on R-1 lots remain the same as the Residential Zone General Development Standards, Section 19.10.030 except that the maximum lot coverage shall be 45 percent on single story dwellings and the minimum front yard setback shall be fifteen feet for side entry garages only. Table 2-8 lists only those standards which deviate from the general zone development standards for the R1 zone.

TABLE 2-8
R1/DS AMENDED DEVELOPMENT STANDARDS FOR
SINGLE STORY

Development Feature	R1/DS
Minimum Front Yard Setback for Side Entry Garages	15 ft.
Garage Setback with Roll up Door	18 ft.
Site Coverage for Single Story Units	45%

* 45% coverage may apply provided:

- No lots with site constraints (such as native oak trees) shall have reduced front yard setbacks and increased coverage.
- No more than 33% of the home within a subdivision shall have reduced front yard setbacks: and
- No more than three units in a row with the reduced front yard setbacks and increased coverage.

(c) Amended Development R1/DS Standards

R1/DS: Affected Parcels: W-1, W-3, W-4 and W-5

The amended development standards identified in (a) and Table 2-8 shall apply. In addition, the following open space setback shall apply. The intent is to provide an adequate fire safety setback along the parcels adjacent to open space corridors. Fencing

TABLE 2-5
 LAND USE MAP
 PHASE 2: NEIGHBORHOOD D

FIGURE 2-5
 LAND USE MAP
 PHASE 2: NEIGHBORHOOD D

Woodcreek West					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acres	Units
WW-1	R1	LDR	4.6	18.0	83
WW-2	R1	LDR	4.3	24.9	106
WW-3	R1	LDR	4.2	39.1	164
WW-4	R1	LDR	3.8	32.9	125
WW-5	R1	LDR	3.7	23.5	87
WW-6	R1	LDR	4.4	24.4	108
WW-7	RS	LDR	3.5	19.2	105
WW-8	RS	LDR	4.8	24.6	117
WW-9	R1	LDR	4.8	16.0	76
WW-10	R1	LDR	4.8	20.8	100
WW-11	RS	LDR	5.2	15.3	80
WW-12	RS	LDR	6.8	15.7	106
WW-13	RS	LDR	5.4	11.2	61
WW-14	RS	LDR	7.0	20.0	140
WW-15	RS	LDR	17.5	12.7	222
WW-16	RS	LDR	20.4	11.0	224
WW-17	MDR		13.9	7.9	110
WW-18	CC	Commercial		6.0	
WW-19	CC	Commercial		9.6	
WW-20	PR	Park/Detention		12.0	
WW-21	PR	Park/Detention		3.7	
WW-22	P/QP	Elementary School		10.0	
WW-23	P/QP	School Administration		3.0	
WW-24	P/QP	Fire Station		1.5	
WW-25	P/QP	Church/School		14.9	
WW-26	P/QP	Well Site		0.2	
WW-27	OS	Wetland Compensation		41.8	
WW-28	OS	Open Space(Landscape)		0.7	
WW-29	OS	Open Space (Vegetation Buffer)		5.7	
WW-30	OS	Open Space (Vegetation Buffer)		4.4	
WW-31	OS	Open Space		7.5	
WW-32	OS	Open Space		3.5	
WW-33	OS	Open Space		3.3	
WW-34	OS	Open Space		1.2	
ROW - Woodcreek West				26.4	
				492.6	2,014

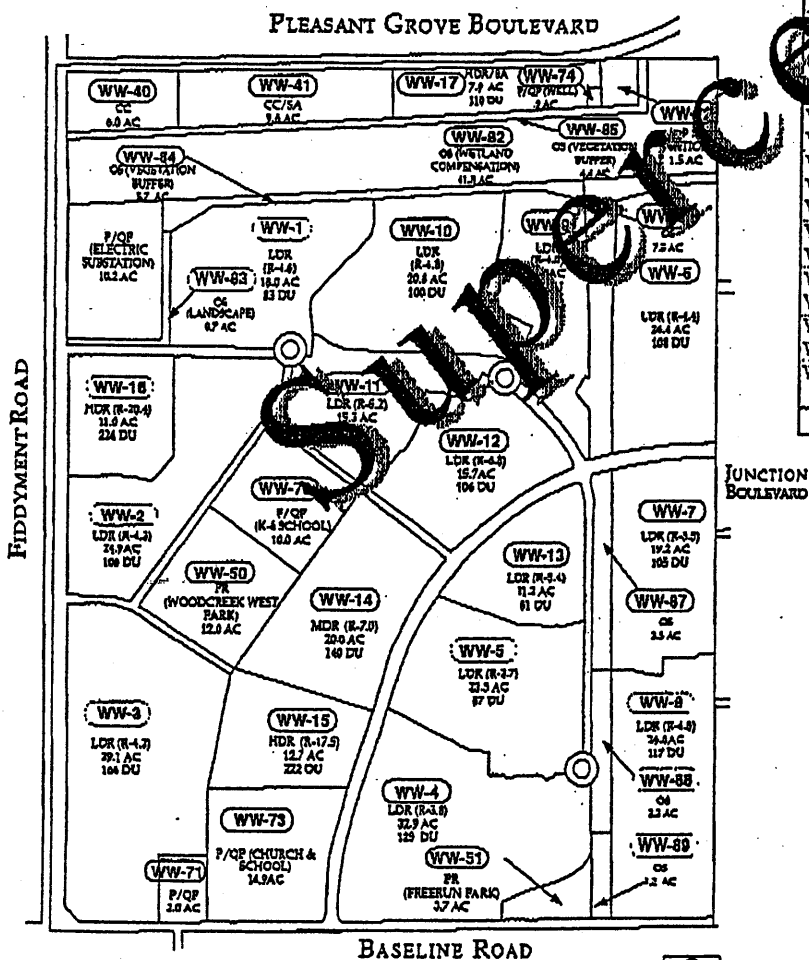
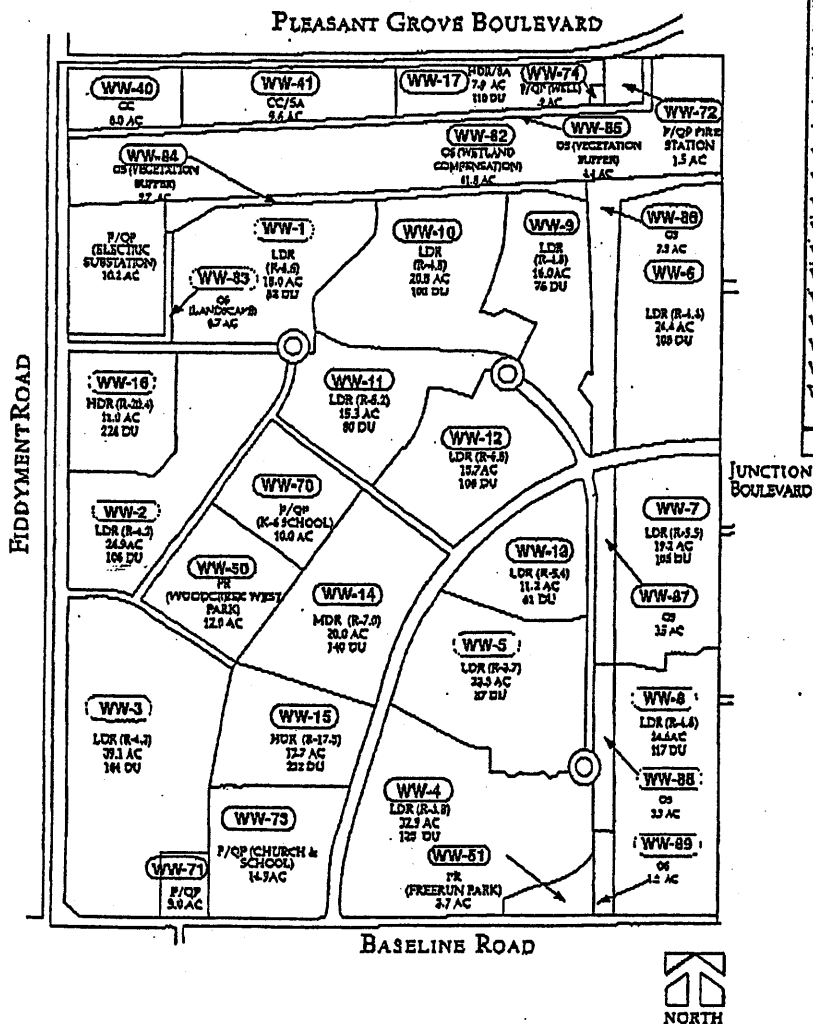


TABLE 2-5.
LAND USE MAP
PHASE 2: NEIGHBORHOOD D

FIGURE 2-5
LAND USE MAP
PHASE 2: NEIGHBORHOOD D



Woodcreek West					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acres	Units
WW-1	R1	LDR	4.6	18.0	83
WW-2	R1/DS	LDR	4.3	24.9	106
WW-3	R1	LDR	4.2	39.1	164
WW-4	R1	LDR	3.8	32.9	125
WW-5	R1/DS	LDR	3.7	23.5	87
WW-6	R1	LDR	4.4	24.4	108
WW-7	RS	LDR	5.5	19.2	105
WW-8	RS	LDR	4.8	24.6	117
WW-9	R1	LDR	4.8	16.0	76
WW-10	R1	LDR	4.8	20.8	100
WW-11	RS	LDR	5.2	15.3	80
WW-12	RS	LDR	6.8	15.7	106
WW-13	RS	LDR	5.4	11.2	61
WW-14	RS	MDR	7.0	20.0	140
WW-15	R3	HDR	17.5	12.7	222
WW-16	R3	HDR	20.4	11.0	224
WW-17	R3/SA	MDR	13.9	7.9	110
WW-40	CC	Commercial		6.0	
WW-41	CC/SA	Commercial		9.6	
WW-50	PR	Park/Detention		12.0	
WW-51	PR	Park/Detention		3.7	
WW-70	P/QP	Elementary School		10.0	
WW-71	P/QP	School Administration		3.0	
WW-72	P/QP	Fire Station		1.5	
WW-73	P/QP	Church/School		14.9	
WW-74	P/QP	Well Site		0.2	
WW-82	OS	Wetland Compensation		41.8	
WW-83	OS	Open Space(Landscape)		0.7	
WW-84	OS	Open Space (Vegetation Buffer)		5.7	
WW-85	OS	Open Space (Vegetation Buffer)		4.4	
WW-86	OS	Open Space		7.5	
WW-87	OS	Open Space		3.5	
WW-88	OS	Open Space		3.3	
WW-89	OS	Open Space		1.2	
ROW- Woodcreek West				26.4	
				492.6	2,014

ORIGINAL

RESOLUTION NO. 02-15
SPA 01-03

AMENDING THE LAND USE MAP AND TEXT OF THE NORTH ROSEVILLE SPECIFIC
PLAN - DIAMOND CREEK PARCEL 32 (1701 PARKSIDE WAY)

WHEREAS, a proposal for amendment to the land use map and text of the North Roseville Specific Plan Diamond Creek Parcel 32 (1701 Parkside Way) of the City of Roseville was submitted to the Planning Commission of the City; and

WHEREAS, the Planning Commission held a public hearing on the proposed amendment on November 29, 2001; and

WHEREAS, on January 2, 2002, the City Council held a public hearing at which time the proposed amendment was considered; and

WHEREAS, the amendment as proposed is consistent with the adopted City of Roseville General Plan; and

WHEREAS, it is the desire of this City Council to approve said amendments to the land use map and text of the North Roseville Specific Plan Diamond Creek Parcel 32 (1701 Parkside Way) as conducive to public health, safety and welfare, and consistent with the land use practices of the City,

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the text of the Specific Plan is hereby amended to read as follows:

Change the land use from Business Professional (BP) to Low Density Residential (LDR-2.7) as shown on Exhibit "A" attached hereto.

FURTHER RESOLVED that this Resolution will take effect on the same date Ordinance No. 3787 becomes effective.

PASSED AND ADOPTED by the Council of the City of Roseville this 2nd day of January, 2002, by the following vote on roll call:

AYES COUNCILMEMBERS: Earl Rush, Richard Roccucci, Gina Garbolino, Rocky Rockholm
Claudia Gamar

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: None


MAYOR

ATTEST:


ASSISTANT City Clerk

1/11/2019
**SPECIFIC PLAN AMENDMENTS FOR
NORTH ROSEVILLE SPECIFIC PLAN – DIAMOND CREEK PARCEL 32**

The following provides a listing of the amendments to the Northeast Roseville Specific Plan required to ensure internal consistency with adoption of entitlements for Diamond Creek Parcel 32 (DC-32). The amendments consist primarily of changes to tables, figures and specific plan references.

TITLE PAGES

1. Add reference to DC-32 adoption date and resolution number.

CHAPTER 1 – INTRODUCTION

No modifications are proposed.

CHAPTER 2 – LAND USE

1. P 2-1, Table 2-1, Modify land use acreage to reflect DC-32.
2. P 2-2, Figure 2-1, Modify land use on figure to reflect DC-32.
3. P 2-4, Table 2-2, Modify land use for DC-32.
4. P 2-5, Figure 2-2, Modify land use to reflect DC-32.

CHAPTER 3 – HOUSING

No modifications are proposed.

CHAPTER 4 – CIRCULATION

No modifications are proposed.

CHAPTER 5 – RESOURCES

No modifications are proposed.

CHAPTER 6 – PUBLIC FACILITIES

No modifications are proposed.

CHAPTER 7 – IMPLEMENTATION

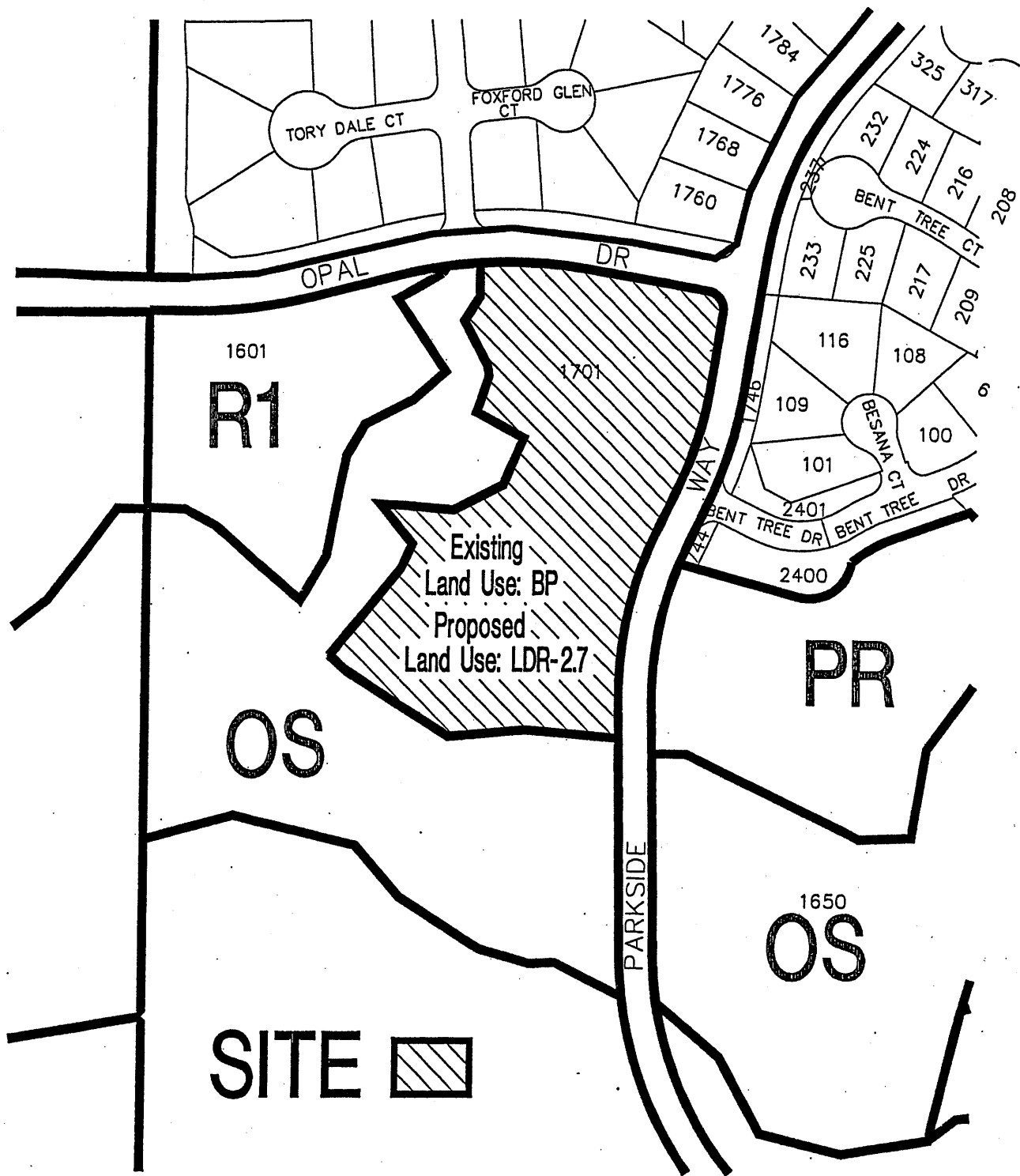
No modifications are proposed.

APPENDIX A – DESIGN GUIDELINES

No modifications are proposed.



CITY OF ROSEVILLE LAND USE EXHIBIT



SITE



City of Roseville Planning Department
Map Prepared By: BDavisson
File Name: rchmap\vaub0005_judg\12.11.01

Project Name: NRSP Parcel DC-32
 Project File Numbers: SUBD 01-05; RZ 01-06; GPA 01-03; SPA 01-03
 Project Location: 1701 Parkside Way

The specific plan
document follows
this page.

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1. INTRODUCTION

1.1 THE SPECIFIC PLAN AREA

The North Roseville Specific Plan is a three phase, comprehensive plan that will guide the urbanization of 1,552 acres in a mix of residential neighborhoods, schools, parks, open space, commercial and office uses. The plan area includes all properties in the north and west side of the City of Roseville not previously zoned for urban use or previously included in a specific plan. One objective of this specific plan is to complete the land-use and infrastructure planning for this area of the city.

The Specific Plan combines a land-use and circulation plan, affordable-housing program, resource management strategy, development standards and an integral, comprehensive infrastructure plan in a single document tailored to the North Roseville area.

1.2 PHASED ENTITLEMENTS

The Specific Plan is organized in three phases (Phase 1, 2 and 3) as shown in Figure 1-1. Figure 1-2 contains a pre-specific-plan landowner diagram.

Phase 1 encompasses 738.4 acres, with the Diamond Creek and Eskaton properties forming Neighborhood A. The Mourier 140 and Woodcreek North properties form Neighborhood B.

Phase 2 totals 653.6 acres consisting of the Mourier 160 property just north of the Del Webb Specific Plan and the

Woodcreek West property located south of Del Webb.

Phase 3 totals 160 acres consisting of the "Doctor's Ranch" property located just north of Neighborhood C in Phase 2 and just west of Neighborhood A in Phase 1.

Prior to approval of this specific plan, the Diamond Creek, Eskaton and Mourier 140 properties were zoned for industrial use. The Woodcreek North, Woodcreek West and Mourier 160 properties were designated Urban Reserve. The Doctor's Ranch was outside the city limits and designated as agriculture by Placer County.

**FIGURE 1-1
LOCAL AREA MAP**

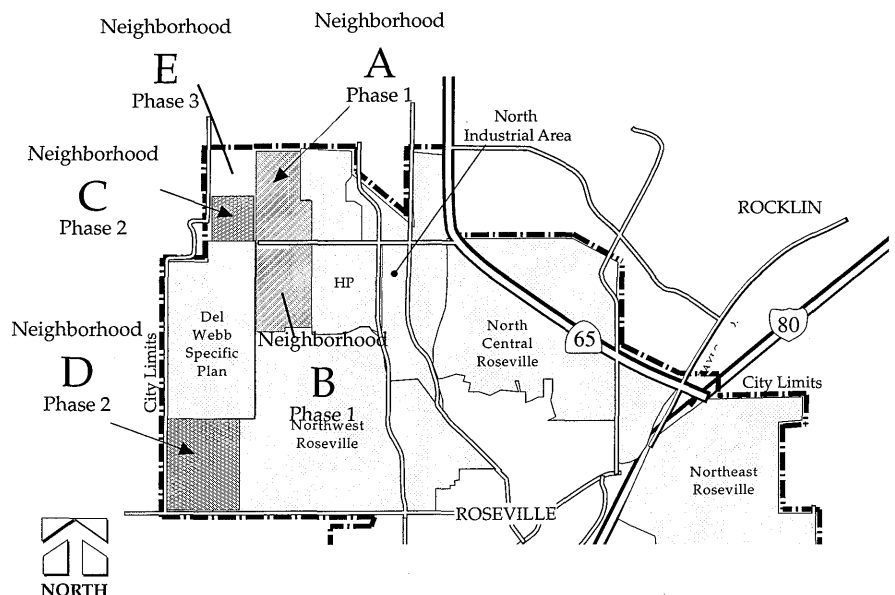
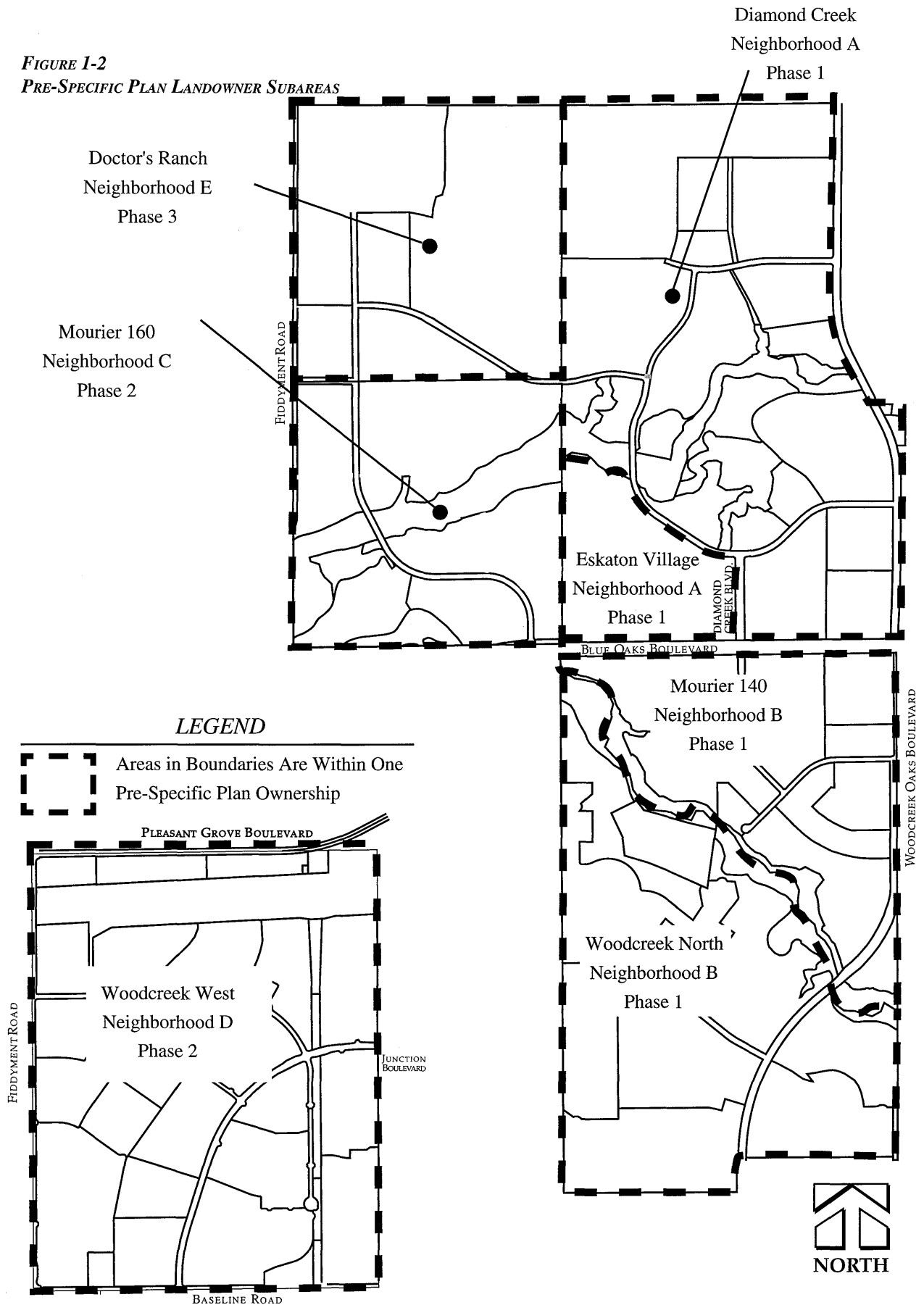


FIGURE I-2
PRE-SPECIFIC PLAN LANDOWNER SUBAREAS



1.3 PROJECT OBJECTIVES

The fundamental objective of the project is to provide a high-quality residential area integrated with the native oak woodlands and creek amenities and with supporting parks, schools and commercial services near the major regional employment area in Roseville.

The specific objectives of the Specific Plan are:

- Objective 1: Provide public services to meet the needs of development within the plan.*
- Objective 2: Incorporate and preserve the oak woodlands, which provide a distinct identity, sense of organization and order for the plan area.*
- Objective 3: Provide a housing supply near employment centers in the northwest area of the city to enhance the potential for jobs/housing balance and to minimize trip length for employees.*
- Objective 4: Provide a range of housing types and densities that include dwellings affordable to households in a variety of income categories and special residential and care facilities for seniors.*
- Objective 5: Provide space for retail, commercial, and professional land use to serve the plan-area residents and the general public.*
- Objective 6: Enhance neighborhoods by integrating natural areas through visual and pedestrian links, and protect the woodland and creek environment in open space and parks.*
- Objective 7: Provide a pedestrian and bicycle path system and access*

to public transit; to encourage residents to minimize auto use.

Objective 8: Complete the land-use and infrastructure planning for the northwestern portion of the City.

Objective 9: Provide land area for a church and parochial school.

1.4 RELATED DOCUMENTS

The supporting documents listed below play a key role in the implementation of the North Roseville Specific Plan. These documents will be used in conjunction with the specific plan to ensure full implementation of General Plan goals and policies.

Environmental Impact Reports

The original NRSP Environmental Impact Report (EIR) was certified concurrent with the adoption of the specific plan. The EIR examines the environmental impacts of both Phase 1 and Phase 2 of the proposed plan and focuses on changes in the environment that would result from implementation of the plan. The EIR identifies mitigation measures as appropriate to reduce significant impacts, and incorporates a Mitigation Monitoring Plan. The EIR examines all elements of the project including planning, construction and operation. A subsequent EIR was processed for Phase 2 of the Plan. The subsequent EIR analyzes changes to Phase 2 and the analysis baseline subsequent to certification of the NRSP EIR and granting of entitlements in Phase 2.

Phase 3 was not included in the Environmental Impact Reports for Phase 1 and Phase 2. A separate Environmental Impact Report was prepared for Phase 3.

In accordance with CEQA, it is intended that the NRSP EIR, the subsequent EIR and Phase 3 EIR form the environmental basis for approval of subsequent development within and in compliance with this specific plan.

Development Agreements

The City and each pre-specific plan property owner (Figure 1-2) have executed a project-development agreement in accordance with Sections 65864 through 65869.5 of the Government Code of California, as implemented through Article V, Chapter 19.84 of the Roseville Zoning Ordinance. Each project-development agreement sets forth needed infrastructure improvements, park dedication requirements, timing and method for financing improvements and other specific performance obligations of the property owner and the City of Roseville as such obligations relate to the development of the individual properties within the plan.

The NRSP Environmental Impact Reports and Development Agreements are bound separately from the Specific Plan, and are available from the City of Roseville Planning Department.

1.5 LEGAL AUTHORITY

The City of Roseville, as a charter city, adopts this Specific Plan by a procedure that is consistent with its General Plan and with the provisions of Article 8, Sections 65450 through 65457 of Title 7 Planning and Land Use Law, California Government Code. All subsequent projects within the plan area (including subdivisions, use permits, design-review permits and public-works projects), must be consistent with this Specific Plan and the City General Plan.



2. LAND USE

2.1 LAND-USE SUMMARY AND CONCEPT

2.1.1 Land-Use Summary

The North Roseville Specific Plan proposes a mix of residential neighborhoods, schools, parks, and supporting commercial land uses adjacent to a major regional employment center. The proposed land uses are predominantly residential, recreation and open space. The plan also includes sites for retail and professional services. Among these are unique opportunities for specialty retail, restaurants and office uses overlooking the natural creeks adjacent to the proposed Diamond Creek Park and Pleasant Grove Park.

The North Roseville Specific Plan Area (Phase 1, Phase 2 and Phase 3) proposes a total of 5,645 dwelling units on 1,552 acres at full build-out. Phase 1 proposes 2,509 dwelling units (including 400 attached-housing units in the Eskaton Village) on 738.4 acres. Phase 2 includes 2,466 dwelling units on 653.6 acres. Phase 3 proposes 669 dwelling units on 143.2 acres. Table 2-1 contains a summary of land uses for Phase 1, Phase 2 and Phase 3.

TABLE 2-1
SUMMARY OF LAND USE

PHASE 1

Eskaton Village, Diamond Creek Woodcreek North and Mourier 140		
<i>Land Use</i>	<i>Net Acreage</i>	<i>Units</i>
Low-Density Residential (LDR)	376.6	1,706
Medium-Density Residential (MDR)	9.3	72
High-Density Residential (HDR)	16.4	331
Community Commercial (CC)	93.3	
Eskaton Village (52.1 ac)		400
Business Professional (BP)	4.9	
Park (PR)	79.7	
Public/Quasi-Public (P/QP)	39.5	
Open Space (OS)	80.2	
Major Road ROW	38.5	
Subtotal Phase 1	738.4	2,509

PHASE 2

Woodcreek West and Mourier 160		
<i>Land Use</i>	<i>Net Acreage</i>	<i>Units</i>
Low-Density Residential (LDR)	392.0	1770
Medium-Density Residential (MDR)	20.0	140
High-Density Residential (HDR)	31.6	556
Community Commercial (CC)	15.6	
Park (PR)	29.1	
Public/Quasi-Public (P/QP)	29.6	
Open Space (OS)	103.7	
Major Road (ROW)	32.0	
Subtotal Phase 2	653.6	2,466

PHASE 3

Doctors Ranch		
<i>Land Use</i>	<i>Net Acreage</i>	<i>Units</i>
Low-Density Residential (LDR)	143.2	669
Park (PR)	9.0	
Major Road (ROW)	7.8	
Subtotal Phase 3	160.0	669
Total Phase 1, Phase 2 & Phase 3	1,552.0	5,644

North Roseville Land Use Summary

GENERAL PLAN LAND USE (Specific Plan Land Use)	ACRES	% OF TOTAL ACRES	UNITS	% OF TOTAL UNITS
RESIDENTIAL				
LDR (Residential)	892.22	56.93%	4,034	69.54%
MDR (Residential)	62.74	4.00%	600	9.88%
HDR (Residential)	36.40	2.32%	700	10.34%
HDR (Condo/Commercial)	6.34	0.40%	81	1.40%
Subtotal	997.70	63.66%	5,415	93.35%
SERVICE AND EMPLOYMENT				
CC (Commercial)	29.35	1.87%	0	0.00%
CC (Eskaton Village)	52.06	3.32%	386	6.65%
Subtotal	81.41	5.19%	386	6.65%
OPEN SPACE AND PUBLIC				
OS (Open Space)	120.85	7.71%	0	0.00%
OS (OS/Landscape)	1.62	0.10%	0	0.00%
OS (OS/Vegetation Buffer)	7.46	0.48%	0	0.00%
OS (Wetland Compensation)	54.54	3.48%	0	0.00%
PR (Detention Basin)	3.43	0.22%	0	0.00%
PR (Diamond Creek Park)	30.07	1.92%	0	0.00%
PR (Park / Detention)	11.97	0.76%	0	0.00%
PR (North School Park)	4.13	0.26%	0	0.00%
PR (Park)	67.89	4.33%	0	0.00%
PQP (Public / Quasi Public)	0.25	0.02%	0	0.00%
PQP (Substation)	1.02	0.07%	0	0.00%
PQP (Church / School)	14.74	0.94%	0	0.00%
PQP (Elementary School)	25.21	1.61%	0	0.00%
PQP (Middle School)	21.80	1.39%	0	0.00%
PQP (School Administration)	2.98	0.19%	0	0.00%
PQP (Fire Station)	1.56	0.10%	0	0.00%
PQP (Well)	0.16	0.01%	0	0.00%
ROW (Right of Way)	120.61	7.56%	0	0.00%
Subtotal	488.15	31.15%	0	0.00%
Total	1,569.41	100.0%	5,801	100.0%

Last Updated: September 22, 2016

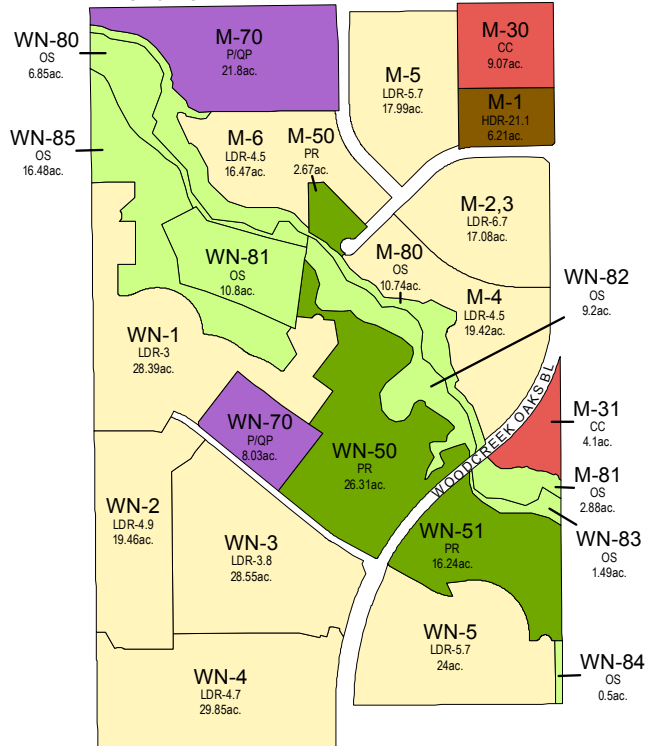
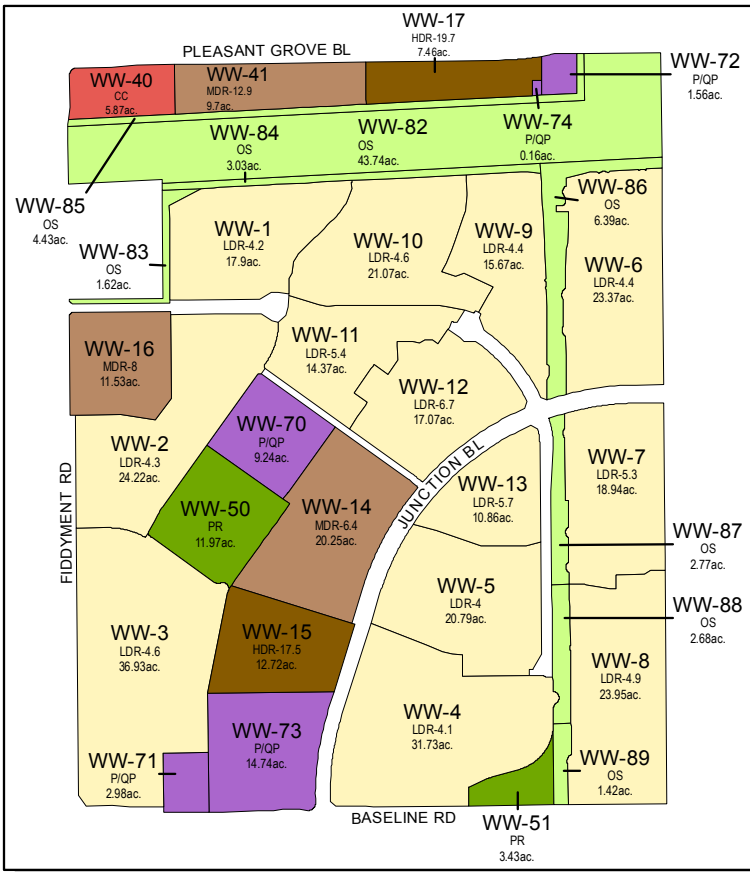
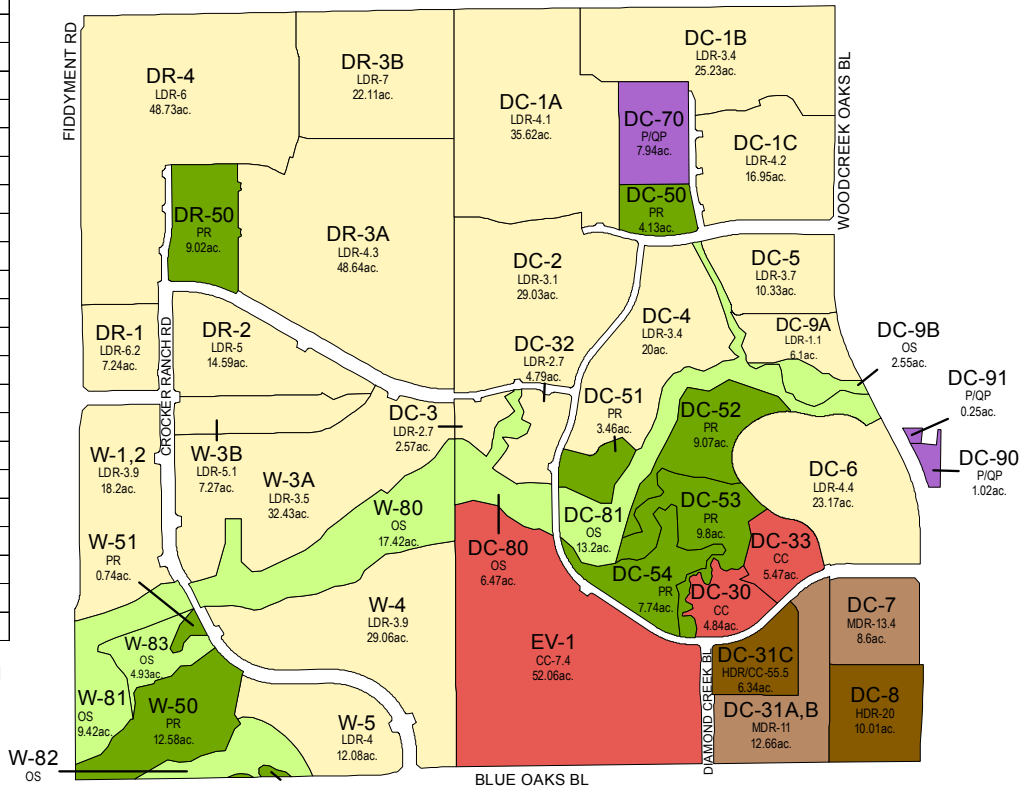
NORTH ROSEVILLE LAND USE PLAN

Figure 2-1

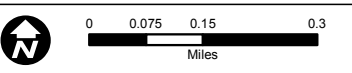
Land Use Designation	Acres
LDR Residential	892.22
MDR Residential	62.74
HDR Condo/Commercial	6.34
Residential	36.40
CC Commercial	29.35
Eskaton Village	52.06
OS Open Space	120.85
OS/Landscape	1.62
OS/Vegetation Buffer	7.46
Wetland Compensation	54.54
Diamond Creek Park	30.07
PR North School Park	4.13
Park	67.89
Park / Detention	15.40
Church / School	14.74
Elementary School	25.21
Fire Station	1.56
Middle School	21.81
Public / Quasi Public	0.25
School Administration	2.98
Substation	1.02
Well	0.16
ROW Right of Way	120.61

*See Land Use By Parcel table for Unit totals

Totals: 1,569.41



Last Updated: October 28, 2014



North Roseville Land Use by Parcel Number

Parcel	General Plan Land Use (Specific Plan Land Use)	Zoning	Acres	Allocated Units	Density
DC-1A	LDR (Residential)	R1	35.62	146	4.1
DC-1B	LDR (Residential)	R1	25.23	85	3.4
DC-1C	LDR (Residential)	R1	16.95	72	4.2
DC-2	LDR (Residential)	R1	29.03	90	3.1
DC-3	LDR (Residential)	R1	2.57	7	2.7
DC-4	LDR (Residential)	R1	20.00	69	3.5
DC-5	LDR (Residential)	R1	10.33	38	3.7
DC-6	LDR (Residential)	RS	23.17	102	4.4
DC-7	MDR (Residential)	RS/DS-NR	8.60	115	13.4
DC-8	HDR (Residential)	R3	10.01	200	20.0
DC-9A	LDR (Residential)	R1/SA-NR	6.10	7	1.1
DC-9B	OS (Open Space)	OS	2.55		
DC-30	CC (Commercial)	CC/SA-NR	4.84		
DC-31A,B	MDR (Residential)	RS/DS,R3	12.66	139	11.0
DC-31C	HDR (Condo/Commercial)	CMU/SA	6.34	81	12.8
DC-32	LDR (Residential)	R1	4.79	13	2.7
DC-33	CC (Commercial)	CC/SA-NR	5.47		
DC-50	PR (North School Park)	PR	4.13		
DC-51	PR (Diamond Creek Park)	PR	3.46		
DC-52	PR (Diamond Creek Park)	PR	9.07		
DC-53	PR (Diamond Creek Park)	PR	9.80		
DC-54	PR (Diamond Creek Park)	PR	7.74		
DC-70	POP (Elementary School)	P/QP	7.94		
DC-80	OS (Open Space)	OS	6.47		
DC-81	OS (Open Space)	OS	13.20		
DC-90	POP (Substation)	P/QP	1.02		
DC-91	POP (Public / Quasi Public)	P/QP	0.25		
DC-ROW	ROW (Right of Way)	ROW	27.10		
Diamond Creek (Neighborhood A) Total			314.44	1,164	
EV-1	CC (Eskaton Village)	CC/SA-NR	52.06	386	7.4
Eskaton Village (Neighborhood A) Total			52.06	386	
M-1	HDR (Residential)	R3	6.21	131	21.1
M-2,3	LDR (Residential)	RS/DS-NR	17.08	115	6.7
M-4	LDR (Residential)	R1/DS-NR	19.42	88	4.5
M-5	LDR (Residential)	R1/DS-NR	17.99	103	5.7
M-6	LDR (Residential)	R1/DS-NR	16.47	74	4.5
M-30	CC (Commercial)	CC	9.07		
M-31	CC (Commercial)	CC	4.10		
M-50	PR (Park)	PR	2.67		
M-70	POP (Middle School)	P/QP	21.80		
M-80	OS (Open Space)	OS	10.74		
M-81	OS (Open Space)	OS	2.88		
M-ROW	ROW (Right of Way)	ROW	19.39		
Mourier 140 (Neighborhood B) Total			147.82	511	
WN-1	LDR (Residential)	R1	28.39	85	3.0
WN-2	LDR (Residential)	R1	19.46	95	4.9
WN-3	LDR (Residential)	R1/DS-NR	28.55	109	3.8
WN-4	LDR (Residential)	R1/DS-NR	29.85	141	4.7
WN-5	LDR (Residential)	RS/DS-NR	24.00	136	5.7
WN-50	PR (Park)	PR	26.31		
WN-51	PR (Park)	PR	16.24		
WN-70	POP (Elementary School)	P/QP	8.03		
WN-80	OS (Open Space)	OS	6.85		
WN-81	OS (Wetland Compensation)	OS	10.80		
WN-82	OS (Open Space)	OS	9.20		
WN-83	OS (Open Space)	OS	1.49		
WN-84	OS (Open Space)	OS	0.50		
WN-85	OS (Open Space)	OS	16.48		
WN-ROW	ROW (Right of Way)	ROW	7.03		
Woodcreek North (Neighborhood B) Total			233.18	566	
Phase 1 Total			747.50	2,627	

Parcel	General Plan Land Use (Specific Plan Land Use)	Zoning	Acres	Allocated Units	Density
W-1,2	LDR (Residential)	R1/DS-NR	18.20	71	3.9
W-3A	LDR (Residential)	R1/DS-NR	32.43	112	3.5
W-3B	LDR (Residential)	R1/DS-NR	7.27	37	5.1
W-4	LDR (Residential)	R1/DS-NR	29.06	112	3.9
W-5	LDR (Residential)	R1/DS-NR	12.08	48	4.0
W-50	PR (Park)	PR	12.58		
W-51	PR (Park)	PR	0.74		
W-52	PR (Park)	PR	0.33		
W-80	OS (Open Space)	OS	17.42		
W-81	OS (Open Space)	OS	9.42		
W-82	OS (Open Space)	OS	5.46		
W-83	OS (Open Space)	OS	4.93		
W-ROW	ROW (Right of Way)	ROW	10.48		
Mourier 160 (Neighborhood C) Total			160.40	380	
WW-1	LDR (Residential)	R1	17.90	76	4.2
WW-2	LDR (Residential)	R1/DS	24.22	105	4.3
WW-3	LDR (Residential)	R1	36.93	170	4.6
WW-4	LDR (Residential)	R1	31.73	131	4.1
WW-5	LDR (Residential)	R1/DS	20.79	84	4.0
WW-6	LDR (Residential)	R1	23.37	103	4.4
WW-7	LDR (Residential)	RS	18.94	100	5.3
WW-8	LDR (Residential)	RS	23.95	117	4.9
WW-9	LDR (Residential)	R1	15.67	69	4.4
WW-10	LDR (Residential)	R1	21.07	96	4.6
WW-11	LDR (Residential)	RS	14.37	77	5.4
WW-12	LDR (Residential)	RS	17.07	114	6.7
WW-13	LDR (Residential)	RS	10.86	62	5.7
WW-14	MDR (Residential)	RS	20.25	129	6.4
WW-15	HDR (Residential)	R3	12.72	222	17.5
WW-16	MDR (Residential)	RS/DS	11.53	92	8.0
WW-17	HDR (Residential)	R3/SA-NR	7.46	147	19.7
WW-40	CC (Commercial)	CC	5.87		
WW-41	MDR (Residential)	R3/DS-NR	9.70	125	12.9
WW-50	PR (Park / Detention)	PR	11.97		
WW-51	PR (Detention Basin)	PR	3.43		
WW-70	PQP (Elementary School)	P/QP	9.24		
WW-71	PQP (School Administration)	P/QP	2.98		
WW-72	PQP (Fire Station)	P/QP	1.56		
WW-73	PQP (Church / School)	P/QP	14.74		
WW-74	PQP (Well)	P/QP	0.16		
WW-82	OS (Wetland Compensation)	OS	43.74		
WW-83	OS (OS/Landscape)	OS	1.62		
WW-84	OS (OS/Vegetation Buffer)	OS	3.03		
WW-85	OS (OS/Vegetation Buffer)	OS	4.43		
WW-86	OS (Open Space)	OS	6.39		
WW-87	OS (Open Space)	OS	2.77		
WW-88	OS (Open Space)	OS	2.68		
WW-89	OS (Open Space)	OS	1.42		
WW-ROW	ROW (Right of Way)	ROW	43.65		
Woodcreek West (Neighborhood D) Total			498.21	2,019	
Phase 2 Total			658.61	2,399	
DR-1	LDR (Residential)	RS/DS-NR	7.24	45	6.2
DR-2	LDR (Residential)	R1/DS-NR	14.59	73	5.0
DR-3A	LDR (Residential)	R1/DS-NR	48.64	209	4.3
DR-3B	LDR (Residential)	RS/DS-NR	22.11	155	7.0
DR-4	LDR (Residential)	RS/DS-NR	48.73	293	6.0
DR-50	PR (Park)	PR	9.02		
DR-ROW	ROW (Right of Way)	ROW	10.82		
Doctors Ranch (Neighborhood E) Total			161.15	775	
Phase 3 Total			161.15	775	
Total			1,569.41	5,801	

Notes:

-A verification study conducted in December of 2006 resulted in minor adjustments to the acreage and number of dwelling units.

Last Updated: September 22, 2016

2.1.2 Land-Use Concept

The land use is intended to reinforce neighborhood identity and sense of community, through special characteristics and distinct attributes:

Neighborhood Organization

The organization of the plan is established in each neighborhood through the mix of residential and neighborhood-support uses. The neighborhoods include single-family and multi-family dwellings, senior housing, schools, open space, commercial, business-professional, parks and service uses. Schools, parks and neighborhood commercial centers serve as focal points and activity centers. Neighborhoods are defined by creeks and major streets that provide clear organization and order.

Pedestrian and Public Transit Access

The neighborhoods are small (less than one mile in their longest dimension) providing residents the opportunity to walk to open space, schools, parks and neighborhood commercial centers without crossing major arterial streets. An extensive pedestrian network is intended to encourage pedestrian and bicycle use throughout the neighborhoods. The potential for public transit to effectively serve the plan area is enhanced by locating the highest housing density, senior housing and the neighborhood commercial areas near collector and arterial roadways.

Preservation/Enhancement of Open Space

The oak woodlands and creek corridors will be the signature elements of the plan. These creeks provide visual and recreational amenities, natural resource preservation and enhancement, natural drainage, and a key component of the pedestrian and bike pathway system. Access or views to open space is a key consideration of the plan and is encouraged through single-loaded street design and cul-de-sac openings adjacent to open-space areas. Pedestrian access corridors, pedestrian promenades, and enhanced

landscaped corridors are also provided to facilitate pedestrian access to open space.

Eskaton Village

Eskaton Village, Roseville, will be a campus-like setting encompassing several levels of residential and institutional services for seniors in a manner that supports wellness, encourages independence and enhances the continuum of care. Proposed accommodations, include single- and multi-story configurations, connected by interior roads and walking paths within clustered or attached residences, apartments, assisted-living apartments, a nursing facility and an adult day-care center. A community center, forming the hub of the campus, will house major common areas and administrative offices. Landscaped grounds will encourage both active (e.g. walking, croquet, gardening) and passive (observational) recreation.

The land use map and table for each neighborhood are provided in Figures and Tables 2-2, 2-3, 2-4, 2-5 and 2-6.

2.2 PERMITTED USES AND DEVELOPMENT STANDARDS

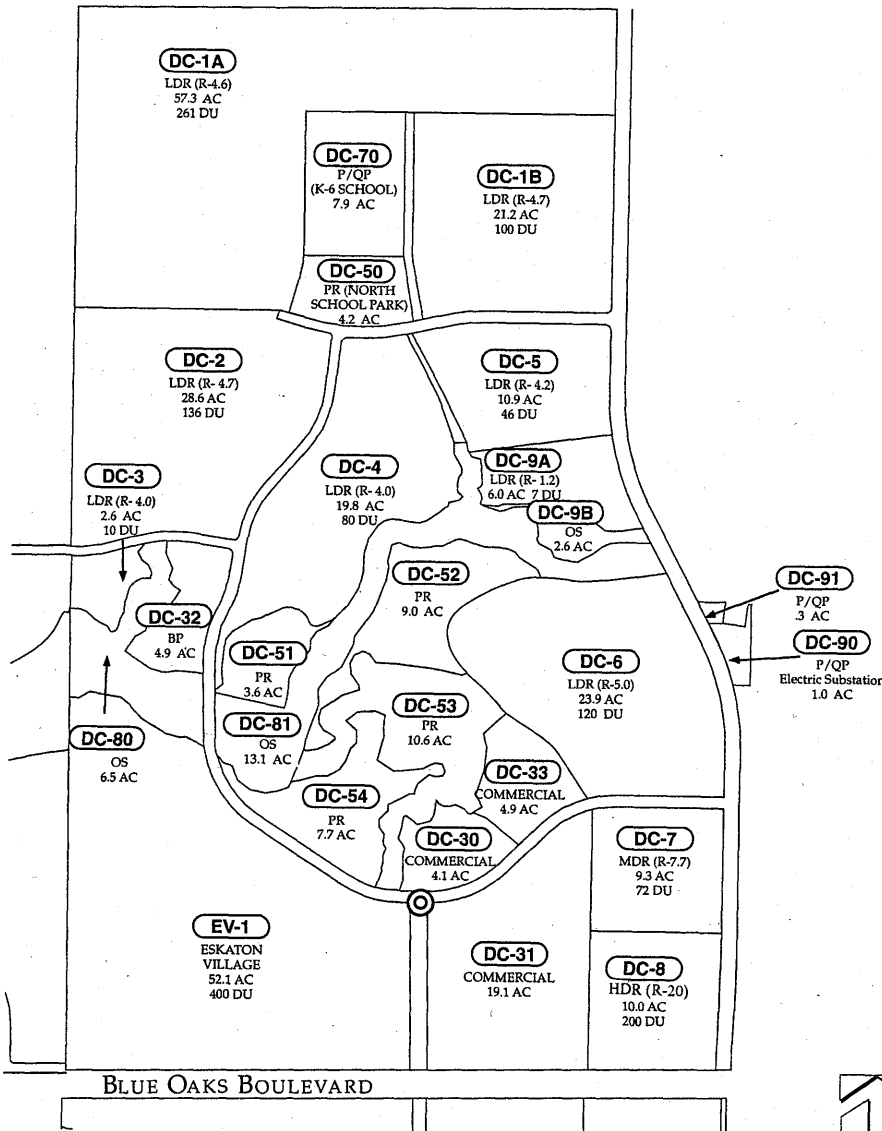
Permitted, conditionally permitted and administratively permitted uses for each NRSP Parcel shall be as provided by the zoning assigned to each parcel, pursuant to the Roseville Zoning Ordinance.

Exceptions to Permitted Uses

Permitted uses on the Eskaton Village (Parcel EV-1), Parcels DC-30, DC-33, DC-9A, WW-17 and WW-41 are exceptions, and have been modified from the Zoning Ordinance general district by the provision of the Special Area Overlay District (SA). This overlay district allows for the modification of the general district regulations (including both permitted-use types and development standards) by reference to regulations adopted in the ordinance rezoning the properties so classified. In this particular case, the

TABLE 2-2
LAND USE BY PARCEL
PHASE I: NEIGHBORHOOD A

FIGURE 2-2
LAND USE MAP
PHASE I: NEIGHBORHOOD A



Eskaton Village Roseville, Diamond Creek					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acreage	Units
DIAMOND CREEK					
DC-1A	R1	LDR	4.6	57.3	261
DC-1B	R1	LDR	4.7	21.2	100
DC-2	R1	LDR	4.7	28.6	136
DC-3	R1	LDR	4.0	2.6	10
DC-4	R1	LDR	4.0	19.8	80
DC-5	R1	LDR	4.2	10.9	46
DC-6	RS	LDR	5.0	23.9	120
DC-7	RS/DS	MDR	7.7	9.3	72
DC-8	R3	HDR	20.0	10.0	200
DC-9A	R1/SA	LDR	1.2	6.0	7
DC-9B	OS	Open Space		2.6	
DC-30	CC/SA	Community Commercial		4.1	
DC-31	CC	Community Commercial		19.1	
DC-32	BP	Business-Professional		4.9	
DC-33	CC/SA	Community Commercial		4.9	
DC-50	PR	North School Park		4.2	
DC-51	PR	Diamond Creek Park		3.6	
DC-52	PR	Diamond Creek Park		9.0	
DC-53	PR	Diamond Creek Park		10.6	
DC-54	PR	Diamond Creek Park		7.7	
DC-70	P/QP	Elementary School		7.9	
DC-80	OS	Open Space		6.5	
DC-81	OS	Open Space		13.1	
DC-90	P/QP	Electric Substation		1.0	
DC-91	P/QP			0.3	
		ROW - Diamond Creek		23.8	
Subtotal Diamond Creek				312.9	1,032
ESKATON					
EV-1	Eskaton Village				
	CC/SA	Attached Housing		52.1	400
		ROW - Eskaton		0.0	
Subtotal Attached Housing Units				52.1	400

TABLE 2-4
LAND USE MAP
PHASE 2: NEIGHBORHOOD C

Mourier 160					
Land Use by Parcel Table					
<i>Parcel</i>	<i>Zoning</i>	<i>Land Use</i>	<i>Density</i>	<i>Net Acreage</i>	<i>Units</i>
W-1	R1/DS	LDR	4.1	12.2	50
W-2	RS/DS	LDR	6.2	8.4	52
W-3	R1/DS	LDR	4.2	41.2	175
W-4	R1/DS	LDR	4.1	30.2	125
W-5	R1/DS	LDR	3.6	13.7	50
W-50	PR	Park		12.7	
W-51	PR	Park		0.4	
W-52	PR	Park		0.3	
W-80	OS	Open Space		16.6	
W-81	OS	Open Space		10.0	
W-82	OS	Open Space		4.8	
W-83	OS	Open Space		4.2	
		ROW - Mourier 160		6.3	
				161.0	452

FIGURE 2-4
PHASE 2 NEIGHBORHOOD C
LAND-USE MAP

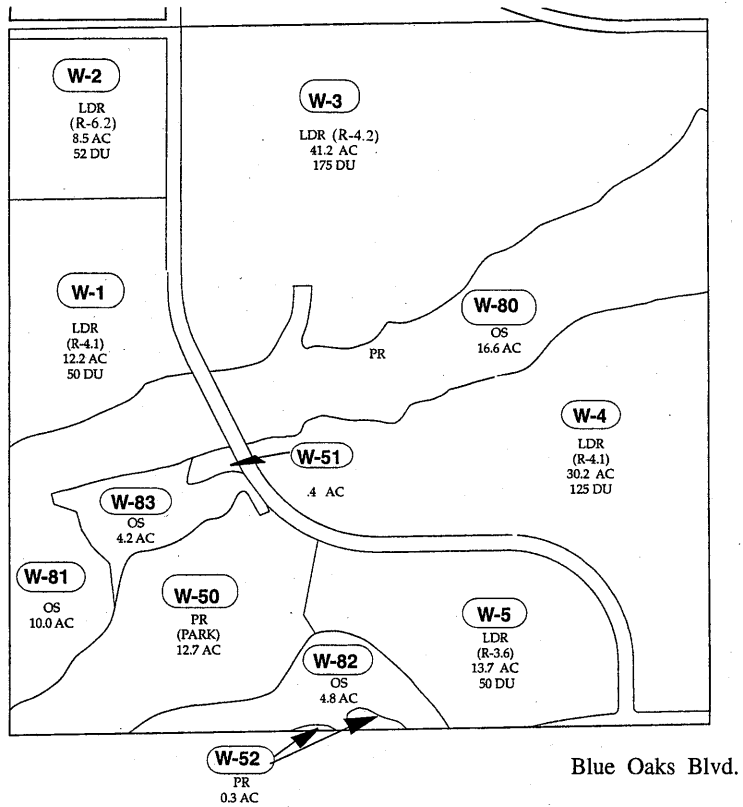
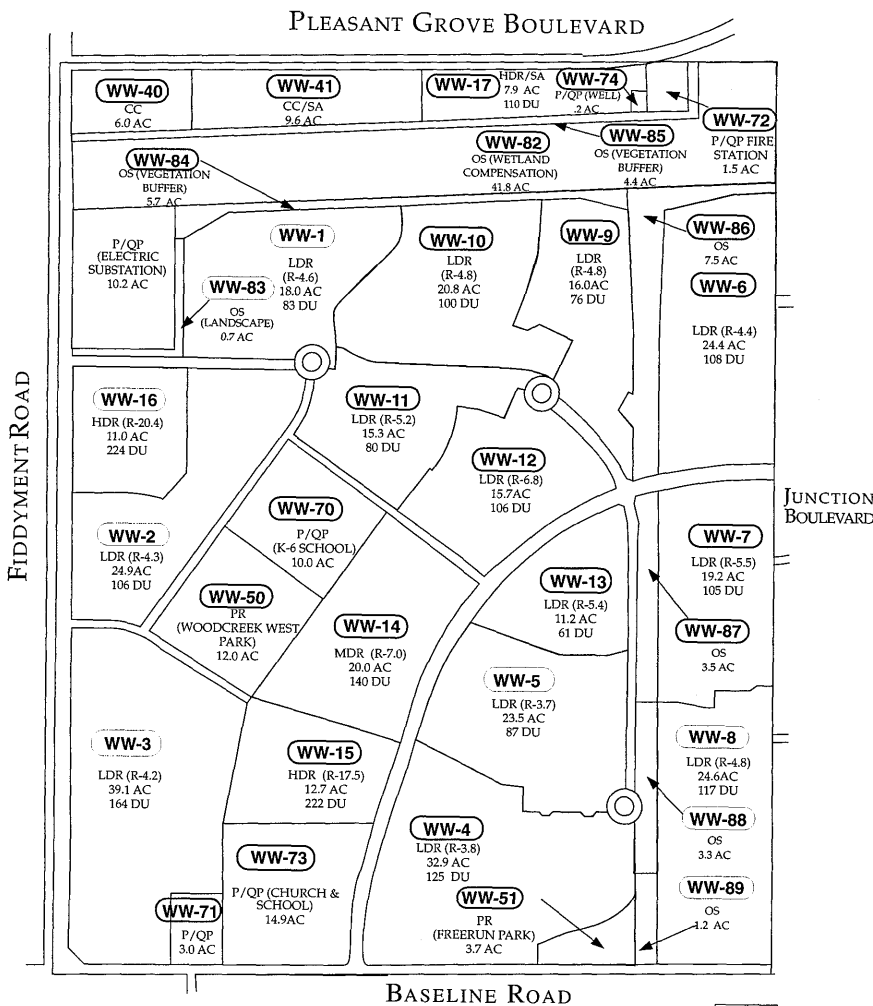


TABLE 2-5
LAND USE MAP
PHASE 2: NEIGHBORHOOD D

FIGURE 2-5
LAND USE MAP
PHASE 2: NEIGHBORHOOD D



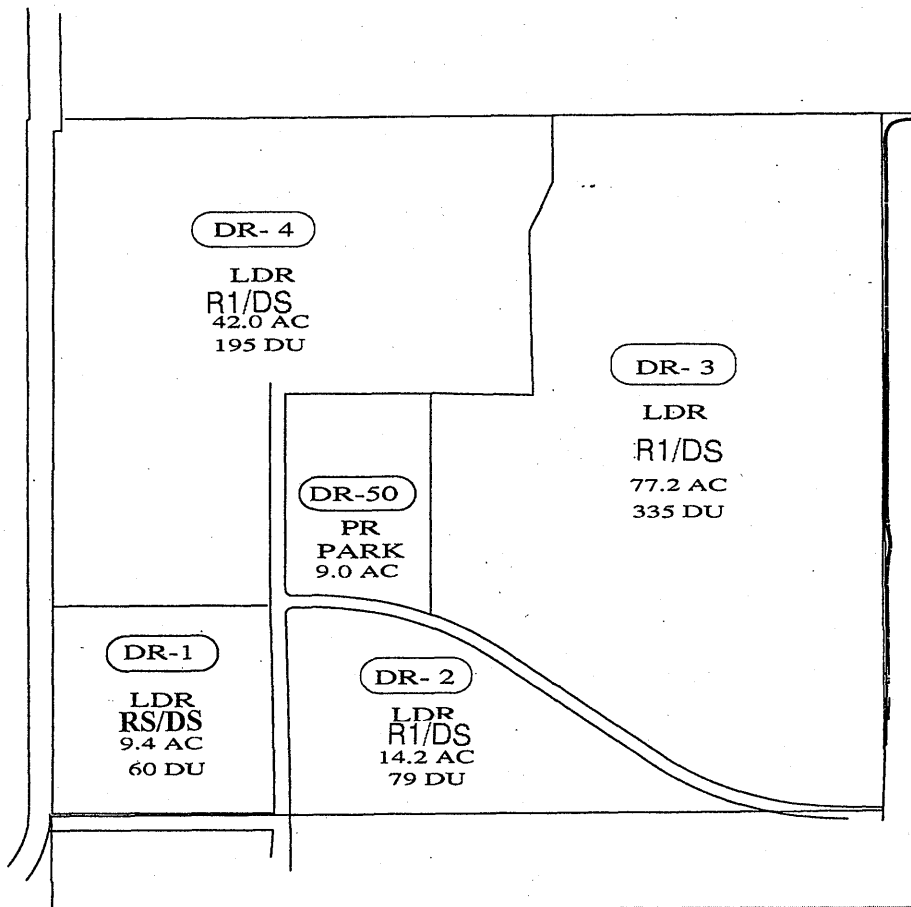
Woodcreek West					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acres	Units
WW-1	R1	LDR	4.6	18.0	83
WW-2	R1	LDR	4.3	24.9	106
WW-3	R1	LDR	4.2	39.1	164
WW-4	R1	LDR	3.8	32.9	125
WW-5	R1	LDR	3.7	23.5	87
WW-6	R1	LDR	4.4	24.4	108
WW-7	RS	LDR	5.5	19.2	105
WW-8	RS	LDR	4.8	24.6	117
WW-9	R1	LDR	4.8	16.0	76
WW-10	R1	LDR	4.8	20.8	100
WW-11	RS	LDR	5.2	15.3	80
WW-12	RS	LDR	6.8	15.7	106
WW-13	RS	LDR	5.4	11.2	61
WW-14	RS	MDR	7.0	20.0	140
WW-15	R3	HDR	17.5	12.7	222
WW-16	R3	HDR	20.4	11.0	224
WW-17	R3/SA	HDR	13.9	7.9	110
WW-40	CC	Commercial		6.0	
WW-41	CC/SA	Commercial		9.6	
WW-50	PR	Park/Detention		12.0	
WW-51	PR	Park/Detention		3.7	
WW-70	P/QP	Elementary School		10.0	
WW-71	P/QP	School Administration		3.0	
WW-72	P/QP	Fire Station		1.5	
WW-73	P/QP	Church/ School		14.9	
WW-74	P/QP	Well Site		0.2	
WW-82	OS	Wetland Compensation		41.8	
WW-83	OS	Open Space(Landscape)		0.7	
WW-84	OS	Open Space (Vegetation Buffer)		5.7	
WW-85	OS	Open Space (Vegetation Buffer)		4.4	
WW-86	OS	Open Space		7.5	
WW-87	OS	Open Space		3.5	
WW-88	OS	Open Space		3.3	
WW-89	OS	Open Space		1.2	
	ROW-	Woodcreek West		26.4	
				492.6	2,014



TABLE 2-6
 LAND USE MAP
 PHASE 3: NEIGHBORHOOD E

Doctors Ranch					
Land Use by Parcel Table					
Parcel	Zoning	Land Use	Density	Net Acres	Units
DR-1	RS/DS	LDR	6.4	9.4	60
DR-2	R1/DS	LDR	5.4	14.6	79
DR-3	R1/DS	LDR	4.3	77.2	335
DR-4	R1/DS	LDR	4.6	42.0	195
DR-50	PR	Park		9.0	
		ROW- Doctors Ranch		7.8	
				160.0	669

FIGURE 2-6
 LAND USE MAP
 PHASE 3: NEIGHBORHOOD E



NRSP contains the regulations and is incorporated into the ordinance establishing the zone districts.

Where the SA combining zone is used, it is to identify specific uses permitted within the zone and not to deviate from any development standards for the respective zone districts. The uses for each of the SA districts are included in Section 2.3.2.1 and 2.3.2.2 of this Specific Plan. The use of a SA combining zone in the NRSP will be followed by a "NR" to reference the "North Roseville" Specific Plan.

All use types are fully defined in Chapter 19.08 of the Roseville Zoning Ordinance. Use types not identified as principally, administratively or conditionally permitted are prohibited in the districts. Use types identified as administratively or conditionally permitted require approval of an Administrative or Conditional Use Permit as specified in Article II of the Zoning Ordinance.

Development Standards (DS) Overlay

The development standards for each zone district are as specified in the City of Roseville Zoning Ordinance and Community Design Guidelines, and may be supplemented by the Design Guidelines for this Specific Plan. Where it is anticipated that Development Standards will vary from zoning ordinance requirements, a Development Standard (DS) overlay has been applied.

Affected parcels have only been listed for those parcels that contain a "DS" or an "SA" combining zone. Refer to land use map for the zoning of all other parcels.

2.2.1 Residential Land Uses

2.2.1.1 Low-Density Residential Land Use

Land Use: Low-Density Residential (0.5-6.9 du/acre)

Zoning: R1, RS, R1/DS, RS/DS

Purpose/Intent

The Low-Density Residential (LDR) category includes dwelling units in configurations up to 6.9 dwelling units per gross acre (exclusive of open space and adjacent collector streets). The plan proposes 1,706 LDR dwelling units on 376.6 acres within Phase 1, 1,770 LDR dwelling units on 392.0 acres in Phase 2, and 669 LDR dwelling units on 143.2 acres in Phase 3. The density range allows some flexibility in selecting dwelling unit types and parcel configurations to suit particular site conditions and housing needs. Dwelling types in this density range could include attached or detached single family dwelling units. Small lots, clustered lots, conventional and large lots are anticipated in this density range. The intent is to provide flexibility of dwelling unit type and parcel configuration based on individual neighborhood and site conditions.

Permitted Uses

Permitted uses are specified by the Single Family Residential (R1) and the Small Lot Residential (RS) District, Section 19.10.020 of the Roseville Zoning Ordinance.

Development Standards

The development standards for R1 and RS zone district shall be as specified by Residential Zone General Development Standards, Section 19.10.030. The development standards for R1 and RS may be modified from the general district standards when the general zone is combined with a Development Standards (DS) overlay zone.

(a) Amended Development R1/DS Standards:

R1/DS: Affected Parcels: M-4, M-5, M-6, WN-4, W-1, W-3, W-4, W-5

These parcels may allow standard single-family product with halfplexes on corner lots, to meet the

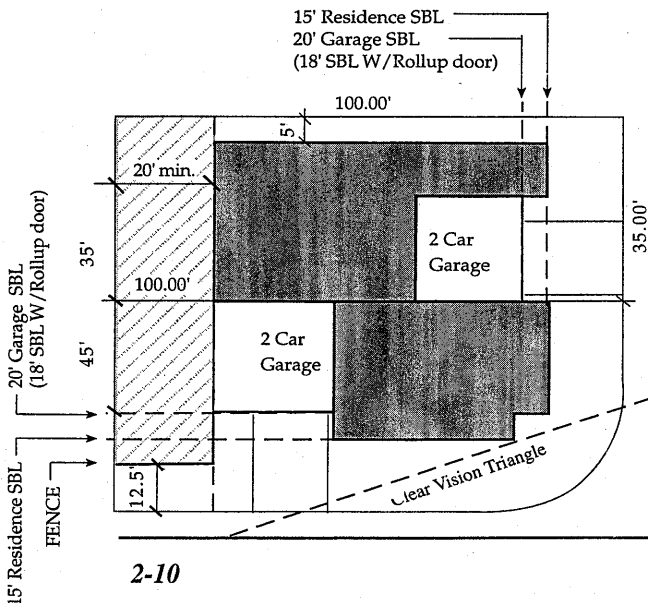
affordable housing goals and allow diversity and innovation in housing types. For this reason, the development standards for these parcels have been modified to allow for this housing type on corner lots. Unless otherwise specified, the development standards remain the same as the Residential Zone General Development Standards, Section 19.10.030 for all other lots. Table 2-7 lists only those standards which deviate from the general zone development standards for the R1 zone for halfplex lots. The Standards are illustrated in Figure 2-7. For parcel M-5, a DRRS may be processed with the map to modify lot width only.

TABLE 2-7
R1/DS AMENDED DEVELOPMENT STANDARDS FOR
HALFPLEX LOTS

Development Feature	R1/DS Halfplex Units
Area, Interior Lot	3500 sq. ft.
Area Corner Lot	4500 sq. ft. *
Width, Interior Lot	35 ft.
Width, Corner Lot	45 ft.
Minimum Front Yard Setback to Ground Floor	15 ft.
Minimum Front Yard Setback to Second Floor	20 ft.
Minimum Side Yard for Adjacent Halfplex Units	0 ft.
Minimum Rear Yard Setback	20 ft.
Garage Setback with Rollup Door	18 ft.
Site Coverage	45%

* Area used to provide a corner radius shall be included in the lot-area calculations.

FIGURE 2-7
TYPICAL HALFPLEX SCHEMATIC



(b) Amended Development R1/DS Standards:

R1/DS: Affected Parcels: M-4, M-5, M-6, W-1, W-3, W-4, W-5, WW-5 and WW-13

These parcels may allow standard single-family dwellings with reduced front yard setbacks for side entry garages. The development standards for single dwellings on R-1 lots remain the same as the Residential Zone General Development Standards, Section 19.10.030 except that the maximum lot coverage shall be 45 percent on single story dwellings and the minimum front yard setback shall be fifteen feet for side entry garages only. Table 2-8 lists only those standards which deviate from the general zone development standards for the R1 zone.

TABLE 2-8
R1/DS AMENDED DEVELOPMENT STANDARDS FOR
SINGLE STORY

Development Feature	R1/DS
Minimum Front Yard Setback for Side Entry Garages	15 ft.
Garage Setback with Roll up Door	18 ft.
Site Coverage for Single Story Units	45%

* 45% coverage may apply provided:

- No lots with site constraints (such as native oak trees) shall have reduced front yard setbacks and increased coverage.
- No more than 33% of the home within a subdivision shall have reduced front yard setbacks: and
- No more than three units in a row with the reduced front yard setbacks and increased coverage.

(c) Amended Development R1/DS Standards:

R1/DS: Affected Parcels: W-1, W-3, W-4 and W-5

(Revised as per Resolution # 01-441)

The amended development standards identified in (a) and Table 2-8 shall apply. In addition, the following a twenty (20) foot open space setback for primary structures shall apply.

The intent is to provide an adequate fire safety setback along the parcels adjacent to the open space corridors. Fencing adjacent to the open space shall be non-combustible wrought iron type as required in the Design Guidelines Section 9.3.2. Table 2-8 lists those standards which deviate from the general development standards for the R-1 zone for open space lots.

(d) Amended Development RS/DS Standards

RS/DS: Affected Parcels: WN-5, DC-7, W-2

Parcels in the Low Density Residential RS zone are intended to provide housing that may include small-lot, single-family detached, cluster, or attached housing. Because of the housing product variability possible within this density range, it is more difficult to define the Development Standards (DS) overlay zone at the specific-plan stage, although deviation to the RS development standards are anticipated. Development standards for these properties will be established through the processing of a Design Review Permit for Residential Subdivisions (DRRS) concurrent with the tentative map for each parcel, and may include deviations to lot area and usable rear yard.

(e) Special Area District and Amended Development RS/SA Standards

RS/SA: Affected Parcels: DR-1

As a condition of the SA zoning, no development of the affected parcels shall be allowed prior to an effective development agreement being entered into with the City and recorded against such parcels.

2.2.1.2 Low-Density Residential/Equestrian

Land Use: Low-Density Residential (0.5-6.9 du/acre)

Zoning: R1/SA, OS

Purpose/Intent

Parcel DC-9A (5.8 acres) is zoned R1/SA for single-family residential and equestrian uses. Parcel DC-9B (1.9 acres), within the flood plain of Pleasant Grove Creek, is zoned OS for open-space uses, which may include an unenclosed, lighted equestrian arena and/or pasture area, and other passive recreational uses associated with an equestrian facility. All uses within designated open space shall be consistent with the City's flood protection regulations.

Permitted Uses

Parcel 9A has a zone district of Single-Family Residential/Special Area (R-1/SA) intended to reflect the specialized nature and uses of a private equestrian facility. The zone district includes all uses as specified in the R1 District (Section 19.10.021) and the following uses consistent with Title 7 of the RMC:

- Barn with air-conditioned and heated areas
- Stable
- Paddocks
- Indoor and outdoor lighted arena
- Other facilities (outbuildings, etc.) associated with the operation of an equestrian facility
- Irrigated pastures

The special area overlay allows Commercial Recreation, Residential Recreation Facilities as a permitted use. The Residential Recreation Facility is intended to be for a private equestrian facility, which includes:

- Riding of horses by persons other than the occupants of the premises or their non-paying guests
- Boarding
- Riding arenas
- Riding schools & academies

- Horse exhibition facilities such as clinics and seminars, but not competitive events such as horse racing or rodeos
- Other uses requiring a business license, including ranch office

The uses associated with the Commercial Recreation use type, as defined above, shall occur on a parcel not less than 3 acres in size, exclusive of privately owned open space.

The equestrian facility shall be limited to a maximum attendance, at any one time, of 25 people. Up to 75 people at any one time, a maximum of four times a year, may also be permitted. Attendance exceeding either 75 people or 4 times per year may be permitted subject to approval of a conditional use permit.

Development Standards

As specified by the Residential Zone General Development Standards, for R1 Section 19.10.030 and OS, and Title 7 of the RMC. An Administrative Permit is required for all accessory buildings or structures in excess of 700 square feet, consistent with Chapter 19.22 of the Zoning Ordinance.

2.2.1.3 Medium-Density Residential Land Use

Land Use: Medium-Density Residential (7.0-12.9 du/acre)

Zoning: RS/DS

Purpose/Intent

The Medium-Density Residential (MDR) category includes dwelling units in configurations of 7.0 to 12.9 dwelling units per gross acre. The plan proposes 72 MDR dwelling units on 9.3 acres within Phase 1, and 140 MDR dwelling units on 16.9 acres in Phase 2. Dwelling units in this density range typically include detached unit types; however, attached units on small lots are also possible. Some examples of detached dwellings on small lots would include cottage housing.

Permitted Uses

As specified by the Small Lot Residential (RS) District, Section 19.10.020 of the Roseville Zoning Ordinance.

Development Standards

RS Affected Parcels: DC-7, WW-14

It is anticipated that a project may be proposed that varies from the RS Development Standards as specified in the Roseville Zoning Ordinance Section 19.10.030 or the Supplemental RS Design Standards as specified in the Roseville Zoning Ordinance, Section 19.10.040. Because of the product variability possible within this density range, it is difficult to predict deviations to the RS zone at the Specific Plan stage, although deviations are anticipated. Development standards and/or the Supplemental Design Standards for these properties will be established through the processing of a DRRS concurrent with the tentative map for each parcel and may include deviations to lot area and usable rear yard.

2.2.1.4 High-Density Residential Land Use

Land Use: High-Density Residential (13.0 du/acre and above)

Zoning: R3

Purpose/Intent

The High-Density Residential (HDR) category includes dwelling units in configurations of 13.0 dwelling units per gross acre and above, typically apartments. The plan proposes 331 HDR dwelling units on 16.4 acres within Phase 1, and 556 dwelling units on 31.6 acres in Phase 2.

Permitted Uses

As specified by the Attached Housing R3 District, Section 19.10.020 of the Roseville Zoning Ordinance.

Development Standards

As specified by Residential Zone General Development Standards, Section 19.10.030.

2.2.1.5 Woodcreek West Seniors, Handicapped and Disabled Persons Residential and Commercial

Land Use: High Density Residential (13.0 du/acre and above)

Zoning: R3/SA

Purpose/Intent

A 7.9 acre site (WW-17) in Neighborhood D (Phase 2) is designated to accommodate high density residential units affordable to low income seniors, handicapped and/or disabled persons and commercial uses.

The intent is to provide a mix of compatible residential and commercial uses. Commercial uses may be an integral portion of the residential use, or a separate, contiguous use. The commercial use is intended to provide retail and services used by, but not exclusively restricted to, the residents of the adjacent housing. Uses that may be anticipated in commercial area include those identified in the Neighborhood Commercial Use Type Classification (City Zoning Ordinance), specifically including medical and dental offices, clinics, business-professional offices, grocery or deli, restaurants and cafes, and personal services such as beauty salons. The purpose is to add the value of commercial uses to the parcel and thereby assist in development of the affordable senior, handicapped and disabled residential units.

The residential uses may include clustered or attached residences, high density apartment residences, assisted living apartments, and a nursing facility. The buildings will be in single and multi-story configurations and connected by interior roads and walking paths. The residential and commercial uses may include recreation facilities or a senior's center.

Permitted Uses

The High Density Residential/Special Area (R3/SA) zone district includes residential units and commercial use. The SA overlay includes commercial use types that are compatible with an assisted living facility that would otherwise require conditional use permits. The R3/SA zone in Parcel WW-17 amends the R3 district to change the uses listed on Table 2-9 from "Conditionally Permitted" to "Permitted". All other permitted uses remain the same.

Development Standards

Development standards for the R3/SA zone will be as specified by Residential Zone General Development Standards, Section 19.10.030.

**TABLE 2-9
PERMITTED COMMERCIAL USE TYPES AS
MODIFIED IN THE R3/SA ZONE
WOODCREEK WEST SENIOR, HANDICAPPED
AND DISABLED RESIDENTIAL AND COMMERCIAL
PARCEL WW-17**

COMMERCIAL USE TYPES	R3/SA
Community Care	P
Long Term Care	P
Day Care	P

P Principally Permitted

NOTE: All other use types remain permitted or conditionally permitted as specified by the R3 district.

2.2.2 Commercial Uses

2.2.2.1 Eskaton Village, Roseville

Land Use: Community Commercial

Zoning: CC/SA

Purpose/Intent

A 52.1 acre site in Phase 1 is designated for Eskaton Village, Roseville, a campus-like concept designed for those transitioning to, or in need of, some level of assisted living or continuing care.

Proposed accommodations will include clustered or attached residences, apartment residences, assisted living apartments, a nursing facility and an adult day care center. The buildings will be in single and multi-story configurations and connected by interior roads and walking paths. A community center, forming the hub of the campus, will house major common areas and administrative offices. Landscaped grounds will encourage both active (e.g., walking, croquet, gardening) and passive (observational) recreation.

Permitted Uses

Eskaton Village, Roseville, has a zone district of Community Commercial/Special Area (CC/SA) reflective of the variety and specialized nature of uses associated with the facility. This includes the residential units permitted in the CC zone district. This SA overlay eliminates some permitted CC use types that are not compatible with the facility, and permits use types that are compatible and that would otherwise require conditional use permits. The CC/SA zone for Eskaton will permit the use types listed in Table 2-10.

The zone is specifically intended to permit the following uses or activities:

- Up to four hundred (400) attached dwelling units.
- Up to two hundred (200) assisted-living units.
- Up to one hundred (100)-bed skilled nursing facility.
- Day-care center including an adult day health care center with an average daily attendance of sixty (60) clients.
- Home health-care agency.
- Administrative offices.
- Recreation facilities such as a fitness center.
- Ancillary uses such as:
 - Hosting classes for the larger Roseville community on topics of interest to elders and care givers.
 - Corporate Offices.
 - Use of meeting rooms by public and not-for-profit organizations.

- Outpatient continuing therapy following discharge from the nursing facility.

Development Standards

Development standards for the CC/SA zone will be the same as for the Commercial Zone General Development Standards (Section 19.12.030) except that increased building heights may be permitted pursuant to the Master Plan process defined herein, in order to minimize the interior walking distance to elevators. Supplemental design requirements are included in the Design Guidelines for this Specific Plan.

Eskaton Village will be developed in increments over time. It is intended that the development be consistent with an overall Master Plan. The Master Plan will be processed for Eskaton Village with the first

TABLE 2-10
PERMITTED USES IN THE CC/SA ZONE
ESKATON VILLAGE

AGRICULTURAL & OPEN SPACE USE TYPES	CC/SA-NR
Resource Protection & Restoration	P
Resource Related Recreation	P

RESIDENTIAL USE TYPES	CC/SA-NR
Caretaker/Employee Housing	P
Community Care Facility, Large	P
Congregate Residence	P
Dwelling, Multi-Family	P

COMMERCIAL USE TYPES	CC/SA-NR	
Banks & Financial Services	P	
Private Recreation	Indoor Entertainment	P
	Indoor Sports & Recreation	P
	Outdoor Entertainment	P
	Outdoor Sports & Recreation	P
Community Care Facility	P	
Dependent Day-Care Centers	P	
Long Term Care Facility	P	
Medical Services, General	P	
Offices, Professional	P	
Personal Services	P	

development application submitted on the property, and will establish specific design standards and guidelines. The approval of a Master Plan is intended to allow for a streamlined City administrative review and approval process for subsequent development within Eskaton Village.

Processing Administrative Design-Review Permits will be performed in accordance with the procedures outlined in Article V of the Zoning Ordinance and as described herein.

The decision to issue an administrative design-review permit will be based on a determination of a development proposal consistency with the Master Plan. This determination shall be made by the approving authority (Planning Director), and will be based on the following factors:

- Land Use and Zoning
- Master Plan Components
- Intensity Thresholds and Infrastructure Sequencing
- Design Guidelines and Development Standards
- EIR Mitigation Measures
- Development Agreement Provisions

If, after reviewing the proposed project for consistency with the provisions of the Master Plan, the Planning Director determines that the proposal is inconsistent with or gives rise to issues that were not addressed by the Master Plan, the proposed project may be referred to the Planning Commission as the appropriate approving authority.

2.2.2.2 Community Commercial Land Use

Land Use: Community Commercial

Zoning: CC, CC/SA

Purpose/Intent

A total of 41.3 acres on 5 sites in Phase 1 (Parcels DC-30, DC-31, DC-33, M-30, M-31), and two sites totalling 15.6 acres in Phase 2 (Parcels WW-40 and

WW-41) are planned for community commercial land use. This land use is intended to provide a mix of shops and services to meet the daily shopping needs of the residents and employees in the plan area. It is assumed that Parcel DC-31 and DC-33 will develop in a mix of commercial and business-professional uses. To reflect this likelihood, the North Roseville Specific Plan EIR assumes that Parcel DC-31 and DC-33 will develop with approximately 55% commercial use and 45% business-professional use. Sites that abut parks or open-space areas provide opportunities to utilize design that integrates the commercial/business- professional use with the adjacent environment, including pedestrian linkages with adjacent neighborhoods.

Parcels WW-40 and WW-41 are relatively shallow parcels that abut the vegetative buffer and wetland compensation areas in Neighborhood D, (Woodcreek West). Neither parcel is a suitable configuration for large scale retail use and the intended uses will include smaller retail shops and services targeted to the surrounding neighborhoods. The sites will also be suitable for professional and service office uses, such as travel, insurance and real estate services.

Permitted Uses

As specified by the Community Commercial (CC) District, Section 19.12.020 of the Roseville Zoning Ordinance.

Development Standards

As specified in Commercial Zone General Development Standards, Section 19.12.030.

Amended Development CC/SA Standards:

CC/SA: Affected Parcels: DC-30, DC-33, WW-41

Permitted uses for CC/SA include all those specified by CC District, Section 19.12.020 of the Roseville Zoning Ordinance, except for the following use types, which are prohibited: gasoline sales, auto repair, auto

sales, car wash and detailing, building-material stores, fast food with drive-through, personal storage facility and transportation and communication.

2.2.3 Business-Professional Land Use

Land Use: Business-Professional

Zoning: BP

Purpose/Intent

The business-professional land use is applied to Parcel DC-32, which is a unique 4.9 acre site located adjacent to Pleasant Grove Creek. The intent is to provide a small, attractive site for a professional building located among the trees and overlooking the creek. The site could also potentially accommodate a church, or similar appropriate use as specified by the Zoning Ordinance.

Permitted Uses

As specified by the Business Professional (BP) District, Section 19.12.020 of the Roseville Zoning Ordinance.

Development Standards

As specified in Commercial Zone General Development Standards, Section 19.12.030.

2.2.4 Open Space

Land Use: Open Space

Zoning: OS

Purpose/Intent

Open space defines the overall form of the plan and protects the wetlands, blue-oak woodlands and riparian areas. Primary open space encompasses 80.2 acres in Phase 1 and 103.7 acres in Phase 2. This includes open space, creek corridors, oak woodlands and pedestrian promenades.

The open-space corridors, oak woodlands, and meadows will provide attractive visual elements that

define individual neighborhoods. Large open-space corridors act as a buffer between uses, provide for off-street trails, provide view corridors, and provide opportunities for on-site wetland and tree preservation.

Opportunities for amenities such as picnic tables, seating, and lighting may be provided for the safety, comfort, and convenience of plan-area residents.

Permitted Uses

As specified by the Open Space (OS) District, Section 19.16.020 of the Roseville Zoning Ordinance.

Development Standards

As specified in Civic and Resource Protection Zone General Development Standards, Section 19.16.030.

2.2.5 Parks

GP Land-Use Designation: Parks and Recreation

Zoning: PR

Purpose/Intent

The North Roseville Specific Plan proposes eight parks which vary in approximate size from 2.7 acres to 41.9 acres and encompass a total of 80.6 acres in Phase 1, 29.1 acres in Phase 2 and 9.0 acres in Phase 3. Two of the parks (WW-50 and WW-51) will also serve as detention facilities. The facilities in these parks are further described in the Public Facilities and Services Element.

Permitted Uses

As specified for the Parks and Recreation (PR) district, Section 19.16.020 of the Roseville Zoning Ordinance.

Development Standards

As specified in Civic and Resource Protection Zone General Development Standards, Section 19.16.030.

2.2.6 Public/Quasi-Public Uses

GPLand Use Designation: Public/Quasi-Public

Zoning: P/QP

Purpose/Intent

The North Roseville Specific Plan includes a church, school district administration building, three elementary schools, a junior high school, and an electric substation. The schools and substation are discussed in more detail in the Public Facilities and Services Element of this Plan. The church complex is sited on 14.9 acres and will include the church, social hall and parochial school. The Dry Creek Elementary School District will establish a district administration center on Parcel WW-73 adjacent to Junction Boulevard. The administration center will include district offices, and meeting rooms.

Permitted Uses

As specified for the Public/Quasi-Public (P/QP) district, Section 19.16.020 of the Roseville Zoning Ordinance.

Development Standards

As specified in Civic and Resource Protection Zone General Development Standards, Section 19.16.030.

2.3 MINOR DENSITY ADJUSTMENTS WITHIN THE PLAN AREA

It is the intent of the North Roseville Specific Plan to permit flexibility for minor adjustments in the number of residential units on low density residential (LDR) and medium density residential (MDR) designated parcels in response to design and market considerations.

Any increase in densities, and associated unit transfers, shall be acted on by the Planning Commission as part of the tentative map for any LDR or MDR residential

parcel. To approve the transfer of units, the Planning Commission shall make the following findings:

- a. The transfer and receiving parcels are within the same pre-specific plan ownership sub area, as shown on Figure 1-2.
- b. The transfer and receiving parcels have existing General Plan land-use designation of LDR or MDR, and the density adjustment does not result in densities on either parcel above or below such existing land-use designations or the maximum number of units for each sub-area.
- c. The transfer and receiving parcels can comply with all development standards and requirements of the existing overlaying zoning districts.
- d. The transfer and receiving parcels can accommodate such density adjustments without resulting in impacts beyond those identified in the project EIR.
- e. The adjustment in density does not adversely impact planned infrastructure, roadways, schools, other public facilities, or plan- area assessment districts.

At the time of approval of the last small-lot tentative map for any LDR or MDR large-lot parcel, any units designated by the specific plan, to a large-lot parcel which are not utilized in the map design or approved for transfer, shall immediately revert to the City unit pool. Plan-area landowners shall have no subsequent claim to such units.

Information, as determined necessary by the Planning Director to determine Specific Plan and General Plan consistency, shall be submitted, identifying the impacts and ability to accommodate any increase or decrease in density on both the transfer and receiving parcels.

All tentative subdivision maps proposing a minor density adjustment shall be accompanied by revised Specific Plan maps and land-use tables to account for any resulting density adjustments. The revised map and table will be the official record-tracking unit allocations to each NRSP large-lot LDR and MDR parcel. Such adjustments are within the intent of the

Specific Plan and, if consistent with the above provisions and findings, shall not require amendment to the plan, unless the Planning Director, in his/her sole discretion, determines that such proposed density adjustment shall require a Specific Plan Amendment.



3. HOUSING

3.1 HOUSING OBJECTIVE

The North Roseville Specific Plan proposes development of dwelling units in a variety of types and densities. The plan includes 2,509 dwelling units in Phase 1, 2,466 dwelling units in Phase 2 and 669 dwelling units in Phase 3. The objective of the Specific Plan housing program is to satisfy the General Plan goal that ten percent (10%) of new housing be affordable to very low, low, and middle income residents.

3.2 HOUSING AFFORDABILITY PROGRAM

The North Roseville Specific Plan complies with the General Plan Housing Element by designating ten percent (10%) of the proposed housing stock affordable to very low, low and middle income households. The affordable-housing program will include a mix of:

- Purchase Housing Affordable to Middle-Income Households (81% to 100% of Median)
- Purchase Housing Affordable to Low-Income Households (70% to 80% of Median)
- Rental Housing Affordable to Low-Income Households (51% to 80% of Median)
- Rental Housing Affordable to Very Low-Income Households (less than 50% of Median)

Approximately twenty-five percent of the affordable housing requirement will be met through purchase housing affordable to middle-income residents. Approximately seventy-five percent of the affordable housing requirement will be provided through a combination of purchase and rental housing affordable to low-and very low-income residents.

The affordable dwellings will be designated in all neighborhoods in order to achieve a distribution throughout the plan area.

Property owners will enter into supplemental affordable-housing development agreement or other form as required by the City, that set the initial rent or purchase price for low and middle-income households, establish the criteria and basis for annual rent or purchase-price increases, and provide the City a method to monitor the rents and purchase price paid by low-income households.

The affordable housing allocation under each Phase is shown in Tables 3-1, 3-2 and 3-3.

3.2.1 Purchase Housing Affordable to Low-and Middle-Income Households

Phase 1 of the NRSP makes provision for 83 single-family purchase units designated for low-income households, and 53 single-family purchase units designated for participation in the middle-income component of Roseville's Housing Affordability program. Phase 2 will provide no single-family, low-income purchase units and 57 middle-income purchase units. Phase 3 will provide no single-family, low-income purchase units and 17 middle-income purchase units. These low-income and middle-income affordable units have been allocated to specific parcels as set forth in Tables 3-1, 3-2 and 3-3.

Dwelling units identified for single-family purchase housing are designated on specific parcels to be

TABLE 3-1
PHASE 1 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Eskaton	EV-1	HDR	R3/SA	400	40	30		10
Mourier 140	M-1	HDR	R3	131	118	118		
Mourier 140	M-3	LDR	RS/DS	115	5			5
Diamond Creek	DC-7	MDR	RS/DS	72	65		40	25
Diamond Creek	DC-8	HDR	R3	200	26	26		
Woodcreek North	WN-4	LDR	R1/DS	142	22		22	
Woodcreek North	WN-5	LDR	RS/DS	136	34		21	13
TOTAL UNITS IN PHASE 1: 2509 x 10% =				251	310	174	83	53
<i>AFFORDABLE UNITS = 10% OF ALL UNITS IN PHASE 1</i>								

TABLE 3-2
PHASE 2 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Walaire 160	W-2	LDR	RS/DS	52	11			11
Woodcreek West	WW-14	MDR	RS	140	46			46
Woodcreek West	WW-16	HDR	R3	224	45	45		
Woodcreek West	WW-17	HDR	R3/SA	110	110	110		
TOTAL UNITS IN PHASE 2: 2,466 x 10% =				247	212	155		57

TABLE 3-3
PHASE 3 AFFORDABLE-HOUSING ALLOCATION

Property Ownership	Parcel Number	Land Use	Zone	Total Units in Parcel	Total Affordable-Unit Reservation	Low-Income Rental Units	Low-Income Purchase Units	Middle-Income Purchase Units
Doctors Ranch	DR-1	LDR	R1/DS	60	17			17
TOTAL UNITS IN PHASE 3: 669 x 10% =				67	17			17

NOTE: The City and landowners have negotiated Affordable Housing credits to achieve the required number of affordable housing units based on the following: an increased percentage of affordable housing units for low income purchase units; an increase from 15 years to 30 years the term that affordability is required to be maintained on certain affordable units; and no City subsidy is required to achieve the low income rental units.

affordable to low- or middle-income households at the time of sale. The long-term affordability of the designated units will be assured by a subsequent affordable-purchase housing development agreement or other form as required by the City, recorded prior to or concurrent with each small-lot residential subdivision final map for parcels designated to provide affordable units. This agreement will obligate the original purchaser and all successors in interest to make the housing unit available at a price affordable to low- or middle-income households.

The developer for each of the designated parcels will be required to provide the affordable housing pursuant to the terms of the Specific Plan Development Agreements implementing this Specific Plan, and no subsidy will be required from the City. The single family home builders, as successors to the Specific Plan Development Agreements, shall use their best efforts consistent with the terms of the Development Agreements to sell the affordable units only to those buyers who qualify under the applicable income category.

With the consent of the City's Housing and Redevelopment Manager ("HRM"), the affordable low- and middle-income purchase allocations set forth in Tables 3-1, 3-2 and 3-3 on a parcel-specific basis may be transferred between single-family parcels within the North Roseville Specific Plan. Such a transfer may be accomplished without amending this Specific Plan. A key consideration regarding the potential transfer of affordable units is the extent to which such a transfer improves the ability for producing the affordable units.

To the extent that the number of affordable units produced on a NRSP single family parcel exceeds the number of affordable units allocated to that parcel, the excess units shall be credited towards the affordable allocation assigned to another NRSP single-family parcel or parcels.

3.2.2 Rental Housing Affordable to Low- and Very Low-Income Households

Phase 1 of the NRSP provides 174 rental units designated for participation in the low-income component of Roseville's Housing Affordability Program. Phase 2 provides 155 low-income rental units. No affordable rental units have been provided in Phase 3. These low-income affordable units have been allocated to specific parcels as set forth on Table 3-1 and 3-2. The shortfall of affordable units in Phases 2 and 3 will be met through the provision of excess affordable units on Parcel M-1 in Phase 1. To the extent that the City is able to provide the funding for the subsidies discussed below, these units will be made available at rents that are affordable to low- and very low-income households for a period of 30+ years pursuant to a supplemental Affordable Rental-Housing Development Agreement or other form as required by the City.

The subsidies to be assembled by the City shall be sufficient to compensate the apartment owner in amount equal to two-thirds the net present value of the loss of revenue for low-income households. No subsidies will be provided for development of low income housing in Parcel M-1. If the City cannot provide the necessary funding, then the requirement to provide the low-income affordable units will be reduced to a level that can be funded by the City, or terminated. Based on the subsidy need anticipated to meet the housing requirement for this income group, some form of deep subsidy will likely be required to help offset the difference between the real cost of producing the housing and the amount that the households can reasonably afford. The source of such funding is typically government housing programs that directly subsidize the cost of land acquisition and construction. The landowner and City agree to join in any application prepared by the City for federal, state, local or private funding and agree to cooperate to obtain the approval of any such application.

The supplemental Affordable Rental Housing Agreements will specify the number of units to be reserved, the number of years the units are to be reserved, and the amount and type of compensation to be provided by the City. The supplemental Affordable Rental-Housing Agreements will also set the initial rent for low-income households, establish the criteria and basis for annual rent increases, provide the City a method to monitor the rents paid by low-income households, and establish the basis and terms for refunding to the City a portion of the compensation provided for the purpose of subsidizing the affordable units if such units are not rented by qualified low-income households. Additional details related to compensation, assembly of subsidies and marketing are contained in the North Roseville Specific Plan Development Agreements.

To the extent that the number of affordable units produced on any multi-family parcel in the NRSP plan area exceeds the number of affordable units allocated to that parcel, the excess units shall be credited towards the affordable allocation assigned to the other NRSP multi-family parcel in that phase.

TABLE 3-4
DEFINITION OF HOUSEHOLD INCOME CATEGORIES

<u>Income Category</u>	
Very Low Income	less than 50% of median
Low Income	51% to 80% of median
Middle Income	81% to 100% of median
Moderate Income	101% to 120% of median
Above Moderate Income	121%+ of median

Source: City of Roseville General Plan, 1992.

For Eskaton Village, low-income rental units shall be defined as the rent service package affordable to 60% of 70% of Median Income for a family of one person or two persons, depending on actual occupancy.

TABLE 3-5
ANNUAL INCOME LEVELS BY HOUSEHOLD
INCOME CATEGORY

<u>Income Eligibility</u>			
<u>Household Size</u>	<u>2 Person</u>	<u>4 Persons</u>	<u>6 Persons</u>
Very Low Income	\$ 19,350	\$ 24,200	\$28,050
Low Income	\$ 31,000	\$ 38,700	\$44,900
Middle Income	\$ 38,700	\$ 48,400	\$56,100
Moderate Income	\$ 46,440	\$ 58,080	\$67,320

Source: U.S. Department of Housing and Urban Development, effective December, 1996.

3.3 DEFINITION OF HOUSING AFFORDABILITY

Housing affordability is based on household income categories defined by the U.S. Department of Housing and Urban Development (HUD). The standard measure is the median household income for households of one to four persons. The median household income is calculated for the Sacramento Metropolitan Statistical Area (MSA), and each jurisdiction within the MSA will utilize the same basic income calculations irrespective of the actual income-level distribution in that community. City of Roseville household income levels reflect income levels of the Sacramento MSA.

The household income categories defined under this calculation are summarized in Table 3-4.

The median household income by category and household size in January, 1997 is summarized in Table 3-5. Although median household income is provided by HUD for each household size (one through six persons per household) the most relevant household size categories for the plan area are two and four persons per household. The average household size for City of Roseville residents is 2.54 persons per unit (U.S. Census, 1990; Roseville General Plan, 1992).

Household income translates to a housing purchase price with several assumptions. These assumptions include the percent of household income that should

be spent for housing, the percentage of purchase price required as a down payment, the current mortgage interest rate and other factors. The actual purchasing power of a given household income at any point in time is determined by the lender. However, for planning purposes the City of Roseville assumes that low- and very low-income households should not spend more than thirty percent (30%) of their monthly gross income on housing costs, including utilities. Maximum affordable-housing expenditures for middle income households should not exceed thirty-five percent (35%) of the monthly household income. Housing costs for purchase housing includes principal, interest, taxes and insurance.

All of these factors change with time, and thus, designation of a specific price range for affordable dwelling units would be applicable in the plan area only for a short time. It is appropriate and relevant to establish the standard for affordability in relation to the median household income at a future time.

3.4 FLEXIBILITY IN IMPLEMENTATION

The affordable-housing allocations and the affordable-housing program described in this North Roseville Specific Plan are intended to be applied with flexibility. In particular, NRSP residential developers are encouraged to explore creative approaches to the provision of a range of housing opportunities suited to the needs of low- and middle-income households. Flexible applications include, but are not limited to:

1. The City may, in accordance with Chapter 19.28 of the Roseville Zoning Ordinance (the Density Bonus Ordinance), assign additional residential units to projects in the North Roseville Specific Plan area. The additional dwelling units would be assigned for the purpose of achieving the affordable housing goal by providing a “density bonus” and, thereby, reducing the average development costs of the individual units. Such density-bonus units would be assigned by a supplemental Affordable Housing Development Agreement to individual projects on a case-by-case basis, and may constitute

a portion of the compensation for the provision of units affordable to low-income households.

2. To the extent an in-lieu affordable housing fee is adopted on a city-wide basis, some NRSP landowners may be allowed to address a portion of their affordable-housing obligations through this means as specified in the project development agreements.

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4. CIRCULATION

4.1 CIRCULATION SYSTEM CONCEPT

The circulation system includes streets, bicycle and pedestrian paths and access to public transit.

The circulation system is designed to encourage residents to walk, bicycle or use public transit for many short trips within the plan area. This is achieved through a combination of locating housing in close proximity to the major job center and neighborhood related services; and inclusion of extensive pathway systems and transit opportunities. Attractive, convenient bike and pedestrian paths provide the opportunity for residents to walk or bike for some local trips that might otherwise be made by automobile.

4.2 STREETS

The plan area street system is designed to minimize traffic in the neighborhoods by avoiding direct connections between major arterial streets through neighborhoods. The circulation system is designed to provide an aesthetic environment for motorists, pedestrians and bicyclists. For motorists, the overall design quality and character of the community is established in landscape standards for public streets defined in Appendix A, the North Roseville Specific Plan Design Guidelines. In addition, the road and pathway systems minimize impacts on the oak woodlands by careful routing through these corridors.

The Phase 1 and Phase 3 backbone arterial and collector streets are to be constructed in a single phase. The construction of Phase 2 road-ways will be phased as described in the Development

Agreements. The timing of internal primary residential streets and local residential streets will be determined through the subdivision and design review process. Details relating to improvement phasing and obligations are included in the NRSP Development Agreements.







4.2.1 Arterial Streets

Existing major arterial streets in or adjacent to the plan area include Blue Oaks Boulevard Pleasant Grove Boulevard, Junction Boulevard, and Fiddyment Road. New or improved arterial streets within the plan area include Blue Oaks Boulevard, Woodcreek Oaks Boulevard, Junction Boulevard, Pleasant Grove Boulevard, Baseline Road and Fiddyment Road.

The primary function of arterial roadways is to move large volumes of traffic through the city to other sections and beyond. In the Specific Plan, the right-of-way for arterials varies from 76 feet to 100 feet and generally incorporates four to six travel lanes, bicycle lanes, and a landscaped median. The exception is Blue Oaks Boulevard, in which a 180-foot right-of-way exists through Phase 1 that could ultimately accommodate an 8-lane facility. Blue Oaks Boulevard in Phase 2 tapers to a standard 100-foot right-of-way adjacent to Neighborhood C. On-street parking on arterials in the plan area is prohibited, and access is limited to minimize cross-traffic turning movements in order to improve traffic safety and allow more efficient traffic flow.

Arterial streets will have landscape corridors with 8 foot wide sidewalks set back from the curb, consistent

FIGURE 4-1
CIRCULATION MASTER PLAN

-  6 Lane Arterial (Figure 4-2A&B)
(Blue Oaks Blvd.)
-  4 lane Arterial (Figure 4-4A,B&C)
(Figure 4-4C, Baseline Road)
(Figure 4-5, Woodcreek Oaks Blvd. South of Blue
Oaks Blvd. Adjacent to HP)
(Figure 4-6, Woodcreek Oaks Blvd. North of Blue
Oaks Blvd.)
(Figure 4-8, Diamond Creek Blvd.)
-  2 lane Collector (Figure 4-7a and optional
Figure 4-7b)
-  2 lane Primary Residential (Figure 4-9)
-  Signalized Intersection
-  Street Designator

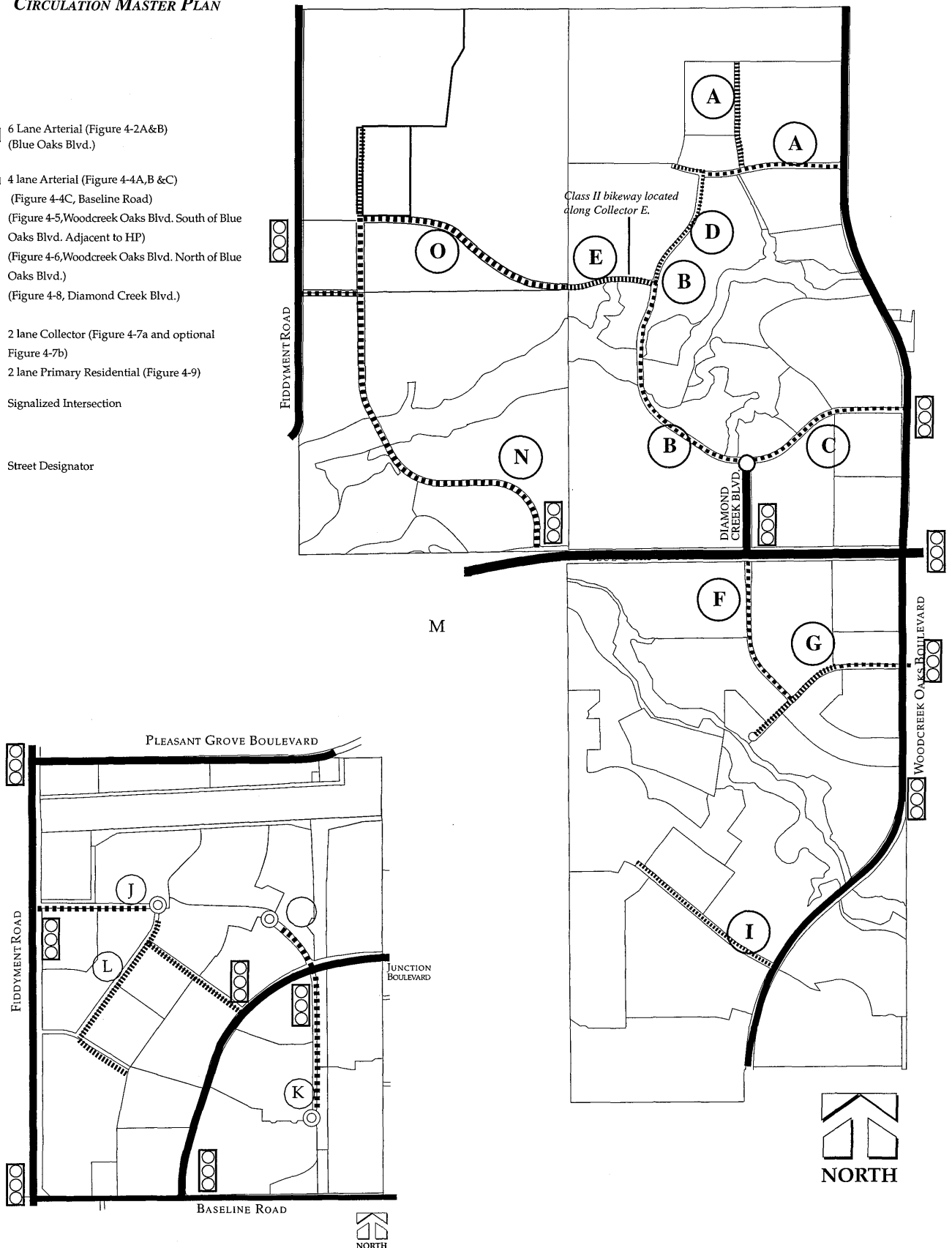


TABLE 4-1
SUMMARY OF VEHICLE LANES
AND LANDSCAPE CORRIDORS

	Ultimate Lane Capacity	ROW*	Landscape Adjacent to LDR and MDR	Corridors Adjacent to Other Uses
<u>Arterial Streets</u>				
Blue Oaks Boulevard (Neighborhood A & B)	6 (8) ¹	180'	50' ²	50' ²
Blue Oaks Boulevard (Neighborhood C) ⁶	6	100'	50'	—
Woodcreek Oaks Boulevard (Typical)	4	76'	25'	35' ³
Pleasant Grove Boulevard	4	76'	—	35'
Junction Boulevard	4	76'	25'	35'
Baseline Road	4	76'	25' ⁹	35'
Fiddymment Road	4	76'	35' ⁷	35'
<u>Collector Streets</u>				
Typical	2	48' ⁸	25'	35'
Diamond Creek Blvd. Entry (to park only)	4	76'	—	35'/69' ⁴
<u>Residential Streets</u>				
Minor Residential ⁵	2	42'	—	25'
Primary Residential ⁵	2	46'	—	25'
<ol style="list-style-type: none"> 1. The Right of Way is sufficient for 8 lanes. 2. 75' landscape corridor is located along a portion of the south side of Blue Oaks Blvd. adjacent to Parcels M-5 and M-30 to accommodate drainage. (See Figures 4-2 and 4-3) 3. 40' landscape corridor is located adjacent to the existing powerline on the west side of Woodcreek Oaks Blvd. south of Blue Oaks Blvd. adjacent to Parcels M-30, M-1, M-2, and M-3, and on the east side of Woodcreek Oaks Blvd. north of Blue Oaks Blvd. (See Figures 4-5 and 4-6). 4. The landscape corridor along the west side of Diamond Creek Blvd. adjacent to Eskaton Village from Blue Oaks Blvd. to the park is 69' wide to accommodate a drainage corridor. (See Figure 4-8). 5. Residents will front or side onto Minor & Primary Residential Streets. (See Figure 4-9 & 4-10) 6. Landscape, right-of-way and median width will transition between Phase 2 and Phase 1. 7. For Neighborhood C adjacent to Fiddymment Road see the Design Guidelines for the appropriate landscape setback. 8. For optional 2 lane collector see Figure 4-7B on page 4-8. 9. The landscape corridor along Baseline Road adjacent to Parcel WW-3 is 35 feet. 				
*Note: The ROW will be widened adjacent to LDR & MDR parcels to incorporate the required Landscape Corridor and PUE.				

with Appendix A, the North Roseville Specific Plan Design Guidelines. The width of the landscape corridor on each arterial street in the plan area is summarized in Table 4-1. The landscape corridor along the south side of Blue Oaks Boulevard between Woodcreek Oaks Boulevard and Diamond Creek Boulevard will be 75 feet wide to accommodate an open drainageway within the corridor. In addition, a wider corridor is required to accommodate the existing

powerline easement along Woodcreek Oaks Boulevard adjacent to the Hewlett-Packard Master Plan.

Traffic signals at selected arterial and arterial/collector intersections will be required as warranted by the City of Roseville. The timing of traffic-signal construction shall be as specified in the North Roseville Specific

FIGURE 4-2A
BLUE OAKS BOULEVARD
(ADJACENT TO NEIGHBORHOOD A & B)

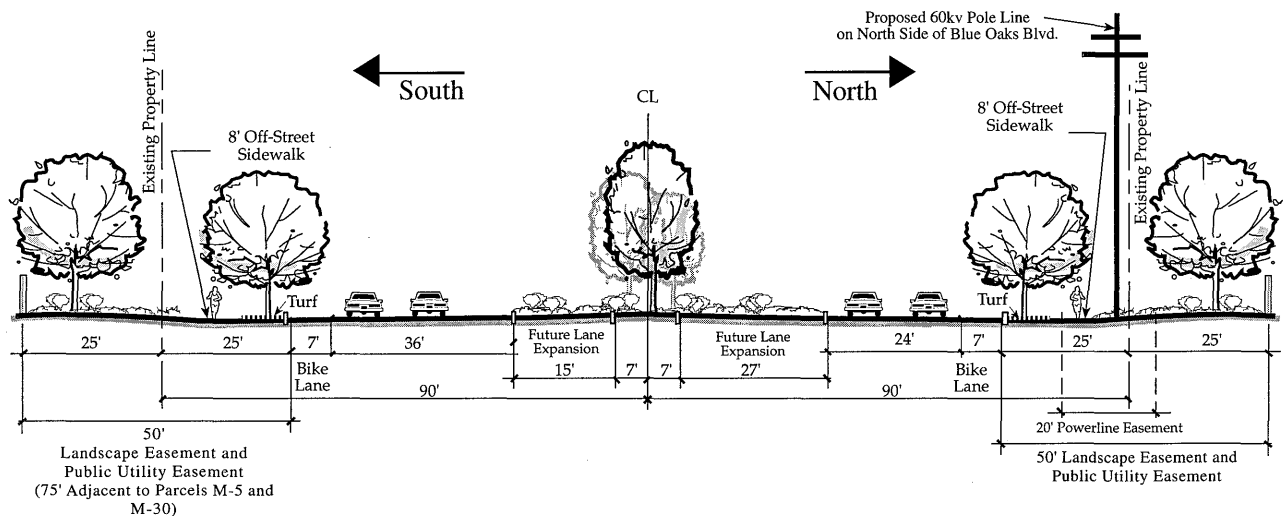
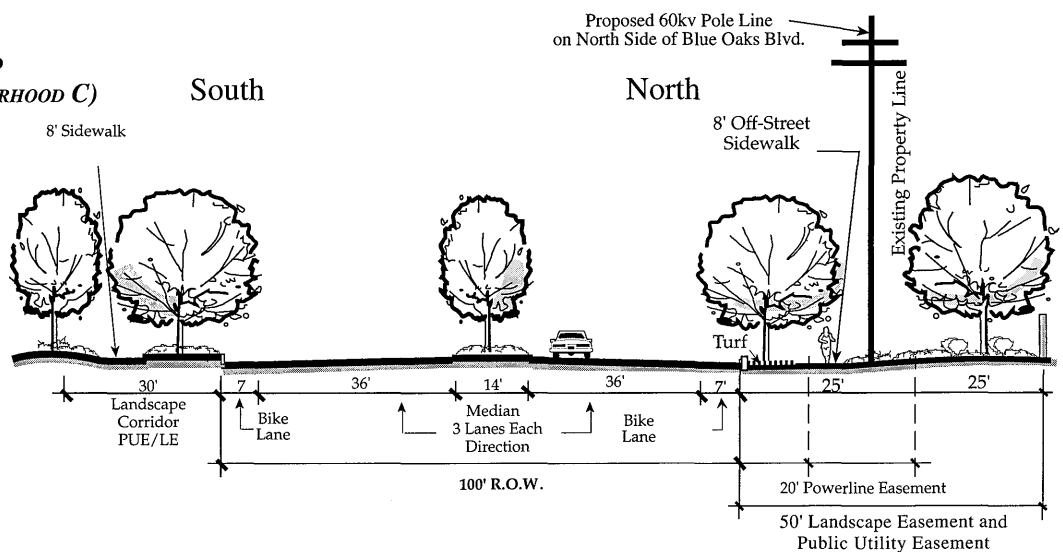


FIGURE 4-2B
BLUE OAKS BOULEVARD
(ADJACENT TO NEIGHBORHOOD C)



** Landscape corridor, Right-of-Way and Median Width will Transition from Phase 2 to Phase 1 standards consistent with the standards established in the Del Webb Specific Plan.*

FIGURE 4-3
BLUE OAKS BOULEVARD ADJACENT TO
PARCEL M-5, M-30

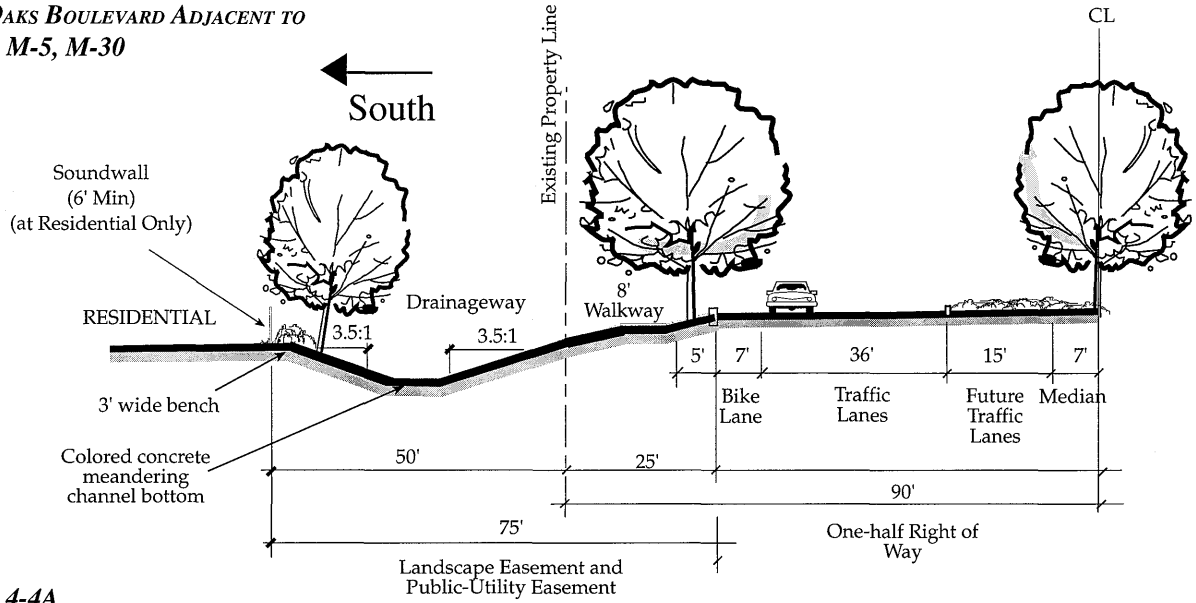


FIGURE 4-4A
TYPICAL FOUR-LANE ARTERIAL STREET
 • PLEASANT GROVE BOULEVARD
 • JUNCTION BOULEVARD
 • WOODCREEK OAKS BOULEVARD

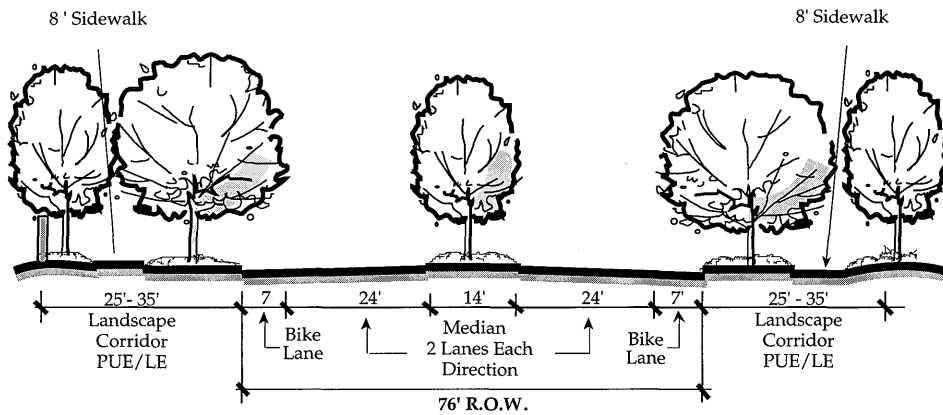
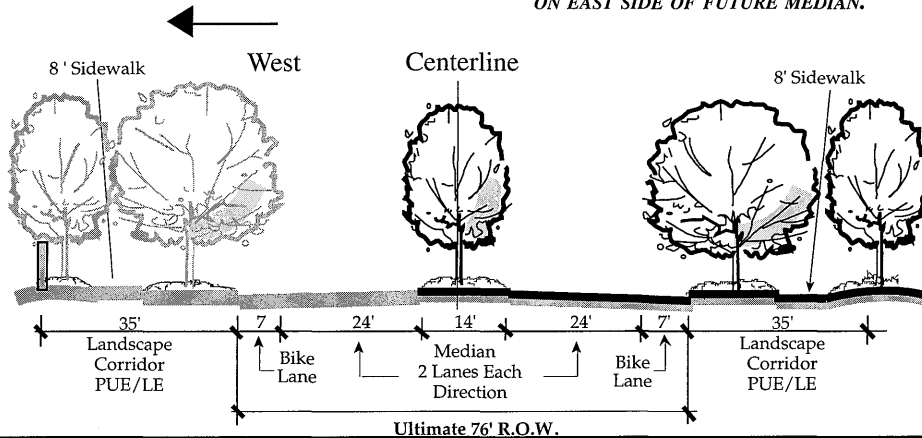


FIGURE 4-4B
TYPICAL FOUR-LANE ARTERIAL STREET
 • FIDDYMENT ROAD

INITIAL IMPROVEMENTS PROVIDE FOR 2 LANES ON EAST SIDE OF FUTURE MEDIAN.



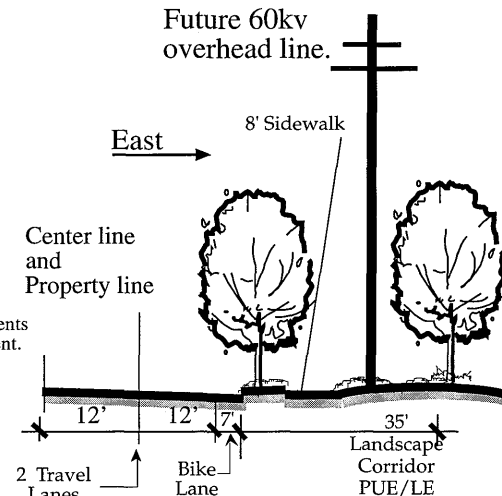
Plan development agreements. Typical cross-sections for the arterial streets within the North Roseville plan area are reflected in Figure 4-2 through 4-6.

Fiddymment Road on the west side of Neighborhood C may ultimately be realigned to eliminate existing substandard curves in the unincorporated area. This will result in Fiddymment Road curving to the west away from Neighborhood C, and returning to its current alignment adjacent to Neighborhood E. The Design Guidelines (Appendix A) address soundwall and landscape setback requirement alternatives relating to this potential realignment. Fiddymment Road adjacent to Neighborhood E will have a landscape corridor and soundwall on the east side of the street only. Fiddymment will be constructed with 32 feet of pavement, curb, gutter, and any additional pavement as required by the City for bus turnouts and to provide separate lanes for turning movements. See Figure 4-4C.

Fiddymment Road and Blue Oaks Boulevard are currently designated as truck routes by the County and City. Additionally, that portion of Woodcreek Oaks Boulevard north of Blue Oaks Boulevard has been identified by the City as a potential future truck

route. As a result, these roadways may carry a considerable amount of truck traffic between the City of Roseville and the Sunset Industrial Area to the north. In addition, the State of California and the County are considering alternatives for a new east-west roadway between Highway 65 and Highway 99/70, commonly referred to as Placer Parkway. The alternatives for Placer Parkway are predominately located north and west of the Specific Plan. If Placer Parkway is developed, until Foothills Boulevard is extended north over Pleasant Grove Creek and through the County to such Parkway, the City anticipates that Fiddymment Road and/or Woodcreek Oaks Boulevard may serve as important truck routes to access Placer Parkway and may be relied upon for a significant amount of truck traffic to and from said Parkway.

FIGURE 4-4C
FIDDYMENT ROAD ADJACENT TO NEIGHBORHOOD E



No parking is permitted on collector or arterial streets.

FIGURE 4-5
WOODCREEK OAKS BOULEVARD
(ADJACENT TO HEWLETT PACKARD MASTER PLAN)

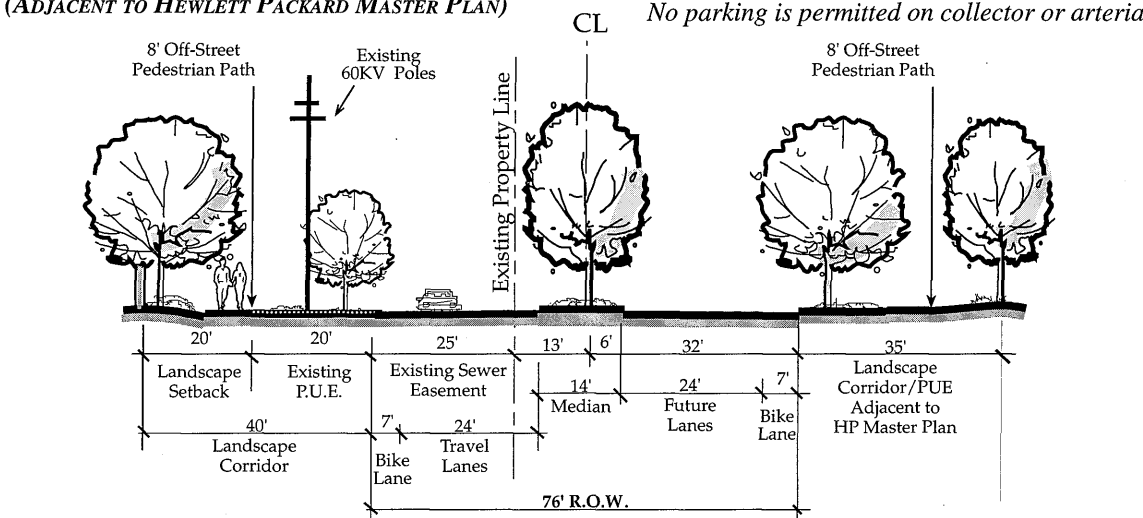
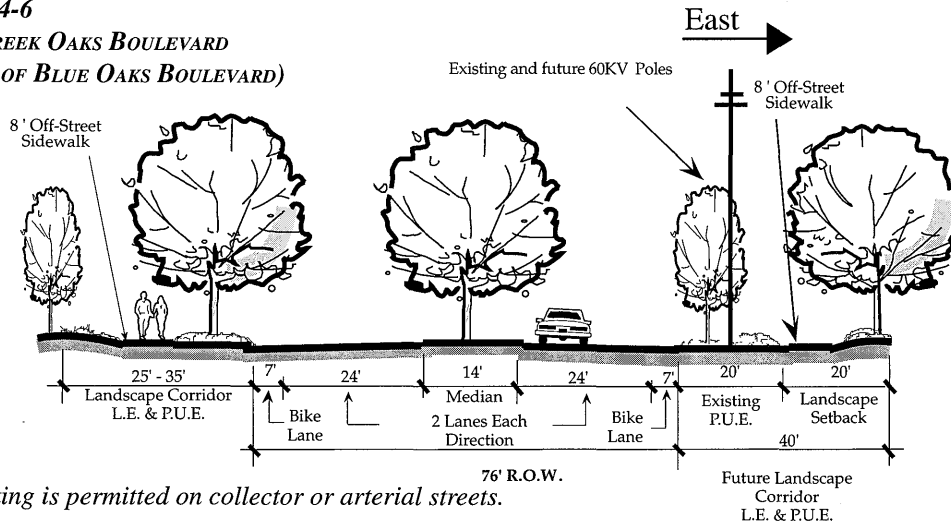


FIGURE 4-6
WOODCREEK OAKS BOULEVARD
(NORTH OF BLUE OAKS BOULEVARD)



No parking is permitted on collector or arterial streets.

FIGURE 4-7A
TYPICAL COLLECTOR STREET

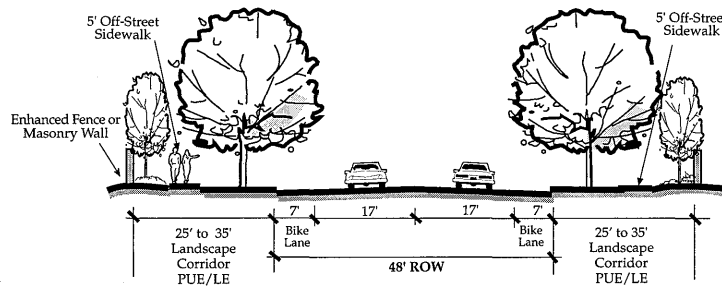
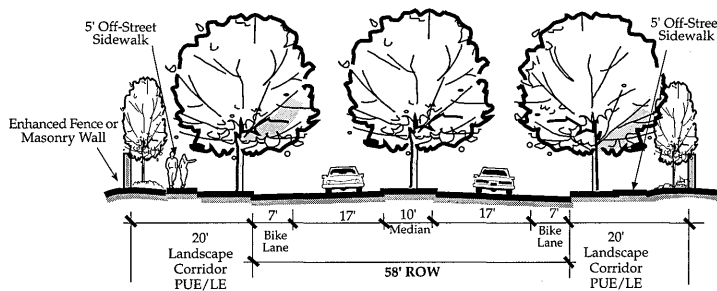


FIGURE 4-7B
OPTIONAL COLLECTOR STREET



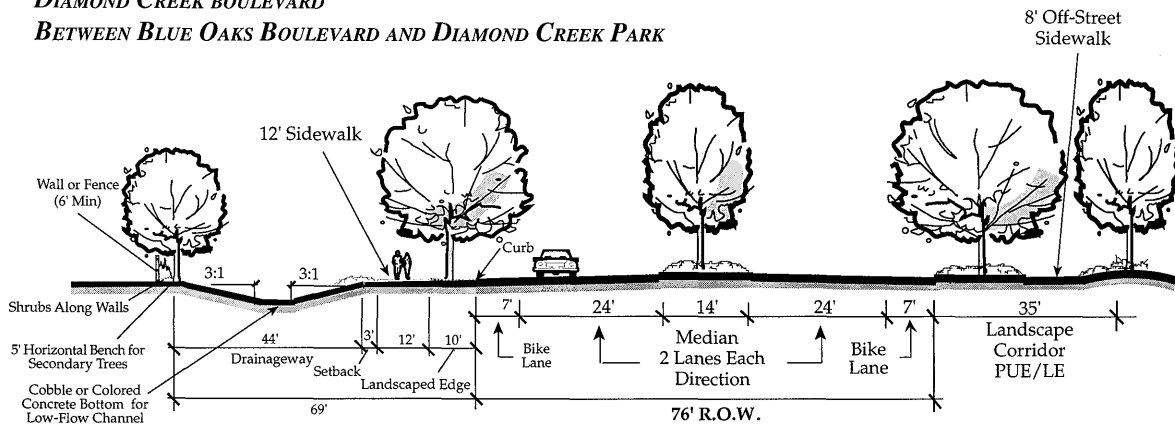
4.2.2 Collector and Residential Streets

Collector streets generally link local residential streets and the commercial and office parking areas to the arterials. The right-of-way for these streets is 48 feet and contains two traffic lanes and bicycle lanes. Major entries to neighborhoods from collector streets will be enhanced with a 12 foot wide turning lane and an 8 foot wide landscape median. These entry features

are described in Appendix A, the North Roseville Specific Plan Design Guidelines.

The exception to the typical collector street standard is Diamond Creek Boulevard. This road will have a 76' foot wide right-of-way (ROW) with 4 travel lanes and a landscape median. In Addition, Diamond Creek Boulevard (Neighborhood A, Phase 1) will have a 69 foot wide corridor on the west side of the collector roadway as shown in Figure 4-8. This

FIGURE 4-8
DIAMOND CREEK BOULEVARD
BETWEEN BLUE OAKS BOULEVARD AND DIAMOND CREEK PARK



No parking is permitted on collector or arterial streets.

FIGURE 4-9
PRIMARY RESIDENTIAL STREET

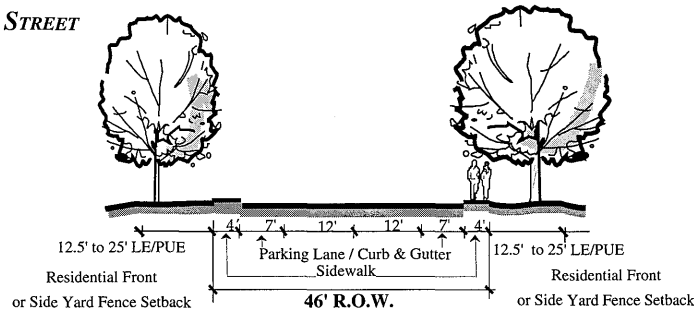
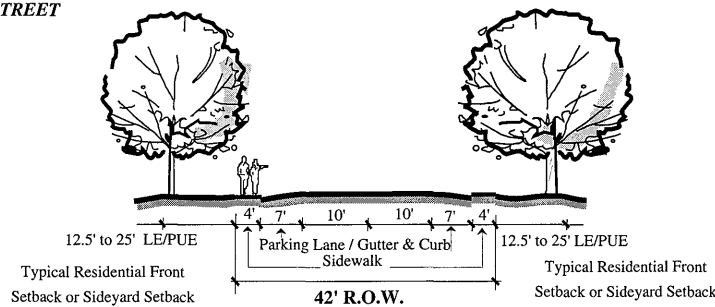


FIGURE 4-10
MINOR RESIDENTIAL STREET



promenade will extend from Blue Oaks Boulevard to Diamond Creek Park and will feature a separate 12 foot wide pedestrian path.

Within neighborhoods the collector street may transition to a primary residential street. This will occur where the through traffic diminishes well within the neighborhood. Primary residential streets link

minor residential streets to the arterial and collector roadway network. The standard section for a primary residential street will be a 46 foot right-of-way with two 12 foot travel lanes. Single family residences will front or side on the primary residential street.

As established by City improvement standards the local residential streets will have a 42 foot right-of-way and an improved section that provides two travel

lanes, a parking lane, and a 4 foot sidewalk on both sides (Figure 4-10). Local residential streets will be designed through the subdivision and design review process. Additional residential street sections may be considered as part of individual residential subdivisions.

4.3 BIKE AND PEDESTRIAN PATHWAYS

The extensive open-space corridors along the creeks combine with bikeways and sidewalks along major streets and through neighborhoods to provide exceptional pedestrian and bicycle systems in the North Roseville Specific Plan. The pedestrian and bikeway corridors provide routes that connect all major activity points (schools, parks and shopping) to the residential neighborhoods. The varied combination of pathway connections enable residents to select different routes and distances for walking through the community. In addition, the bicycle and pedestrian systems connect to the City-wide bike trail system at several points around the plan area. The primary bike and pedestrian pathway systems are illustrated in Figure 4-11.

4.3.1 Bike/Pedestrian Pathway Descriptions

The pedestrian and bicycle pathway systems consist of:

- 4 foot sidewalks within the residential neighborhoods and 5 foot sidewalks along collector streets.
- 8 foot sidewalks in the landscape corridors along arterial streets.
- 7 foot wide, striped Class II bikeways located along all arterial and collector streets.
- 14 foot class I bike trails in parks, promenades, utility corridors and open-space corridors.

Pathways in open-space areas will meet the City's standard for a Class I bikeway. The paths will typically be 14 feet wide; however, through the natural open-space areas, a more informal trail system may be selected at the discretion of the Parks and Recreation Department. The paths through the parks,

including any sections of the City-wide Bikeway Master Plan, will be incorporated in the design of each park.

Where the creeks and major arterial streets intersect and topography permits, the path will cross under major arterial streets. In these cases, the structure carrying the road will provide adequate clearance for the bike trail to pass below along the edge of the creek. Pedestrian bridge crossings (also shown in Figure 4-11) are located in Diamond Creek Park and linking Commons Park to Pleasant Grove Park in Phase 1 and in the Blue Oaks Park just south of Fiddymment Park in Phase 2. At grade crossings of major streets will occur where the bike and pedestrian trail intersects a signalized intersection. In addition, an at grade crossing will occur in Neighborhood C where the bike trail will cross a collector street between Parcels WW-80 (open space) and WW-83 (open space).

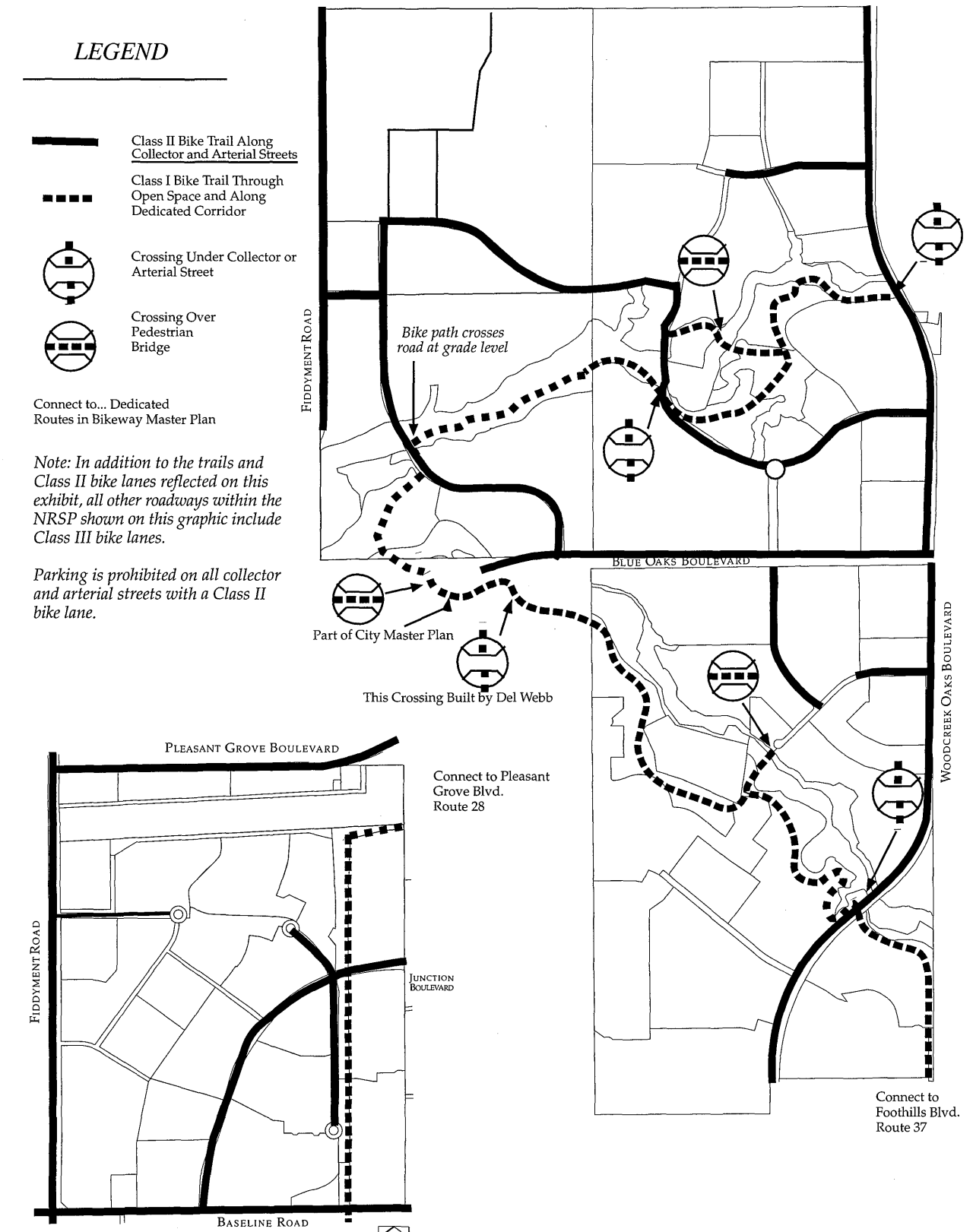
The 100 foot wide electric utility corridor running north-south in Neighborhood D, Phase 2 will also provide a route for a 14 foot wide bike and pedestrian path, as illustrated in Figure 4-12.

Design details for all pathways are included in the North Roseville Specific Plan Design Guidelines, Appendix A. Pathways within landscape corridors and open-space areas will be constructed by the landowner as individual projects are developed. The pedestrian and bike paths in the parks will be constructed as part of the parks improvements.

4.4 PUBLIC TRANSIT

Bus service is the only form of public transit in the near future that can reasonably be expected to be extended directly to the North Roseville Specific Plan area. The City Transit System provides regularly scheduled fixed-route service, and Roseville Area Dial-A-Ride (RADAR) provides reservation, curb-to-curb service throughout the city. These services will be expanded to the plan area as demand for these services occur and funds are available, as determined by the city.

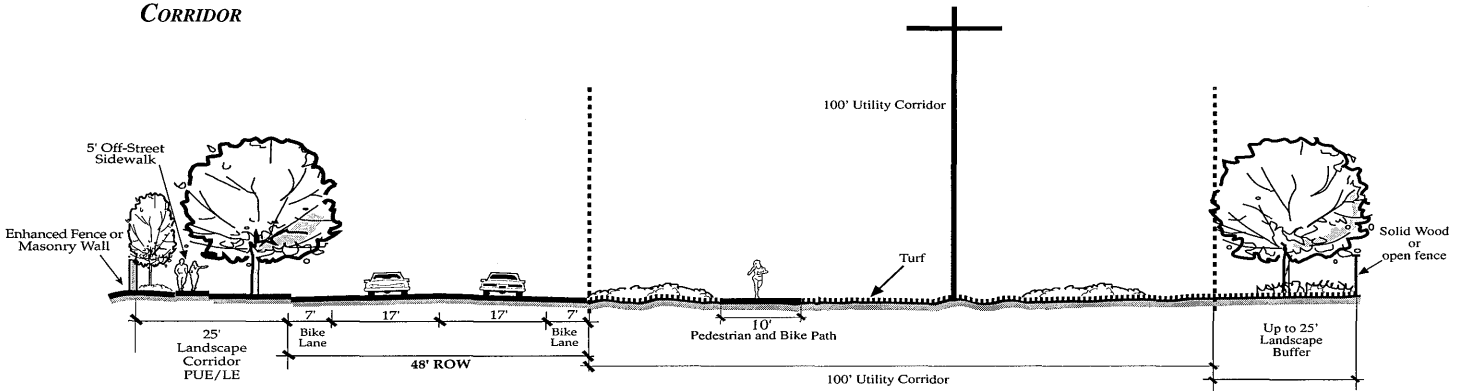
FIGURE 4-11
BIKEWAY AND PEDESTRIAN MASTER TRAIL PLAN



Separate bus turnouts, pads and shelters shall be constructed along arterial streets as required by the City's improvement standards and at other locations as required by the Director of Public Works.

Eskaton Village will provide its own van transportation service to scheduled medical appointments (within an established radius of the site); neighborhood shopping centers; major shopping mall(s); and recreational activities.

FIGURE 4-12
WOODCREEK WEST UTILITY/ PEDESTRIAN/ BIKE
CORRIDOR



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5. RESOURCE MANAGEMENT

5.1 RESOURCE MANAGEMENT CONCEPT

The characteristics of the undeveloped plan area are typical to that of the surrounding region. The plan area has historically been utilized for livestock grazing and limited dry farming. This use has eliminated or reduced native grassland and understory species. The site is generally composed of relatively flat, rolling topography, primarily covered by grasslands. Pleasant Grove Creek and the South Branch of Pleasant Grove Creek, both intermittent creeks, cross the property. Stands of native oaks generally follow the creek corridors. Some seasonal wetlands, including vernal pools, occur in scattered, distinct locations in the plan area.

Resources addressed in the Resource Management Element are limited to those that are unique to, and set the character for, the plan area. These include:

- Wetlands
- Riparian Corridors and Oak Woodlands
- Historical and Cultural Resources

NRSP development impacts on other native resources, soils and grading, groundwater recharge, water quality and air quality have been evaluated in the project EIRs. The NRSP properties will be developed in conformity with local, state and federal regulatory framework that, in conjunction with the mitigation measures identified in the EIRs, will mitigate, to the extent practical, project impacts.

The North Roseville Specific Plan has been designed to satisfy the goals of the Roseville General Plan Open Space and Conservation Element and accompanying city policies. It is the goal of the Resource Element to conserve the natural character of the overall site by comprehensively planning, enhancing and monitoring natural resources.

5.2 WETLANDS

5.2.1 Wetland Types

A variety of conditions generally designated as wetlands are found in portions of the plan area. The four primary wetland types in the plan area are defined drainages, swales, seasonal wetlands and vernal pools. These occur in scattered, distinct locations in the plan area and are generally dry through much of the year.

The greatest concentrations of wetlands occur in the protected open-space areas along the major drainages, the main branch and the south branch of Pleasant Grove Creek. Elsewhere, the vernal pools and seasonal freshwater wetlands occur as isolated wetlands or as features along the swales where there has been an increase in width and/or depth, where the gradient is reduced, and where the swales meet.

The network of swales and defined drainages is representative of that typically found in rolling, low-terrace terrain in terms of density, gradient, and width of associated wetlands.

The NRSP area includes suitable habitat for several federal or state listed plant species, although none were detected in previous surveys. The NRSP area also includes suitable habitat for some special-status animal species. These species are addressed in the NRSP EIR.

5.2.2 Wetland Mitigation Plan

Each land owner within the North Roseville Specific Plan will implement a wetlands preservation and compensation program designed to achieve no net loss, consistent with the City of Roseville General Plan policies.

The land-use plan is designed to avoid wetlands to the extent “practicable” according to guidelines established by the Environmental Protection Agency (EPA), ACOE, U.S. Fish and Wildlife Service (USFWS), and the California Department of Fish and Game (CDFG). Much of the wetlands along the open-space creek corridors is left in the natural condition and will be avoided and preserved in place.

However, intermittent drainages, vernal pools and wetlands are scattered and cannot be entirely avoided. Consequently, permits to fill a portion of the wetlands pursuant to Section 404 of the Federal Clean Water Act are required for each ownership area. The permit, commonly referred to as the “404 permit,” is issued by the U.S. Army Corps of Engineers (ACOE). Compensation for impacted wetlands will be provided off-site.

The land-use pattern proposed in the North Roseville Specific Plan reflects an evaluation of practicable land-use alternatives, and proposes avoidance of vernal pools and other wetlands. The wetland preserve areas incorporate many of the highest quality wetlands in the vicinity. All on-site preserves will occur within designated open-space areas.

Table 5-1 presents the estimated acreage of wetlands preserved and wetlands impacted as a result of implementation of the specific plan. For Phase 1, approximately 7.57 acres, or forty-seven percent (47%) of the total area of wetlands would be avoided. Approximately 8.41 acres of vernal pools and wetland areas will be created off-site, supplementing the 7.57 acres of avoided wetlands.

The wetland area in Phase 2 includes 2.24 acres in Woodcreek West (Neighborhood D) and 6.45 acres in (Neighborhood C). Approximately 5.22 acres, or sixty percent (60%) of the total area of wetlands would be avoided.

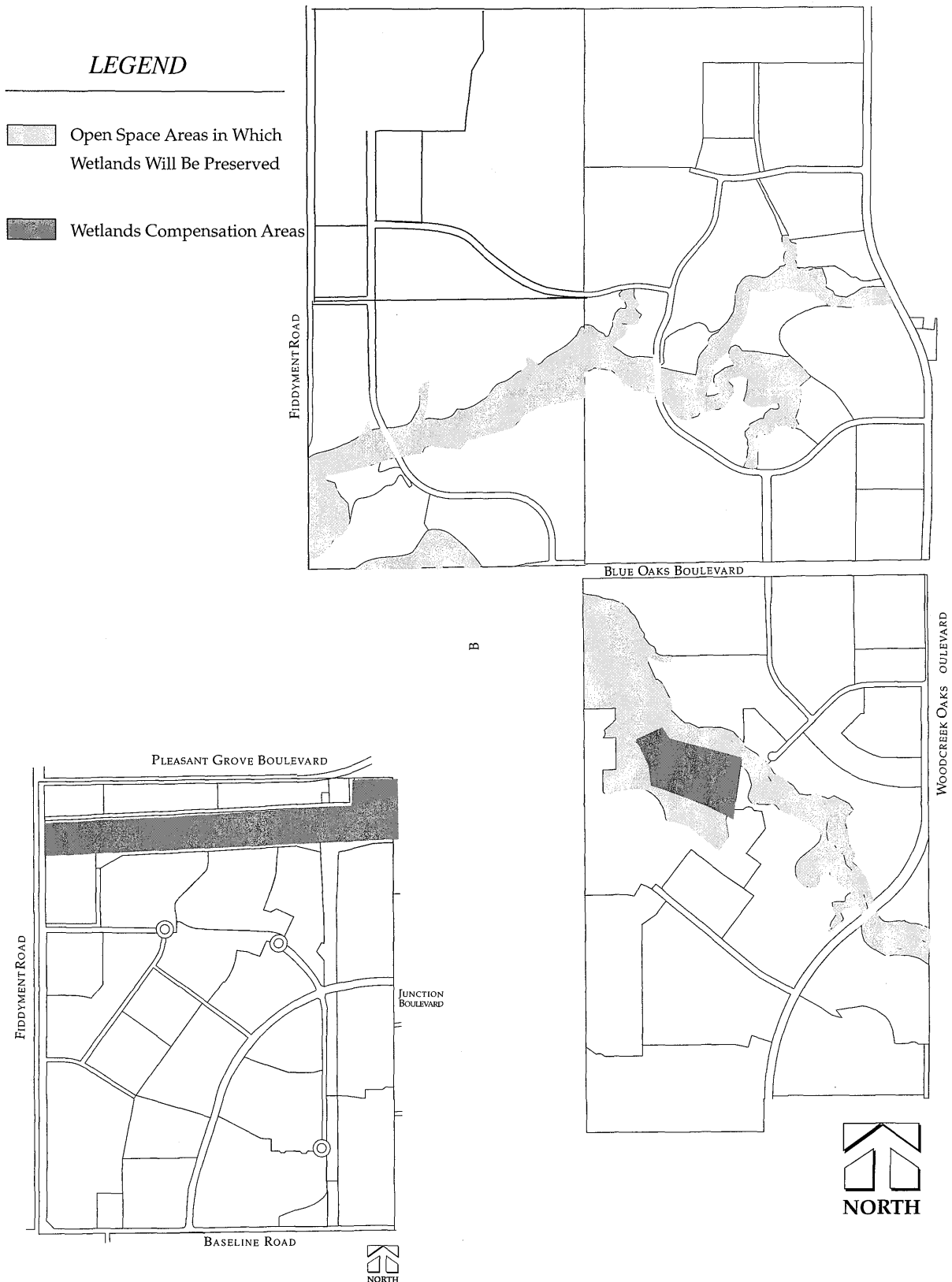
A total of 1.38 acres of wetland is proposed to be filled in Phase 3, and compensation wetlands will be purchased in an off-site preserve.

The NRSP includes wetlands preserved in place on-site, including the areas along the creeks, and wetland compensation areas. The wetland compensation areas include both native wetlands and wetlands created to compensate for filling in other portions of the Plan Area. The compensation wetlands areas are set aside as permanent open space. No improvements, other than a designated bike trail and associated park benches, can occur within the compensation area

TABLE 5-1
WETLAND PRESERVATION AND COMPENSATION IN AREA

Neighborhood	Wetland Area (Acres)	Permitted Fill:	
		Compensated Offsite (Acres)	Preserved Onsite (Acres)
<u>Phase 1</u>			
A Diamond Creek and Eskaton	8.93	4.14	4.79
B Mourier 140	4.09	2.56	1.53
B Woodcreek North	2.96	1.71	1.25
<u>Phase 2</u>			
C Mourier 160	6.45	2.98	3.47
D Woodcreek West	2.24	2.24	0
<u>Phase 3</u>			
E <u>Doctors Ranch</u>	<u>1.38</u>	<u>1.38</u>	<u>0</u>

FIGURE 5-1
WETLAND PRESERVE AND MITIGATION AREAS



boundaries. In addition, a 50 foot vegetative barrier is provided along the edge of the compensation area in Woodcreek West (Neighborhood D) to ensure that drainage from adjacent developed areas can be directed away from the wetlands. These compensation areas, along with the NRSP open-space areas where existing preserved wetlands are shown on Figure 5-1.

In Neighborhood D the cost of creating and monitoring compensation wetlands will be borne by the landowners. Upon completion of the monitoring period mandated as a condition of the Corps of Engineers permit, the preserves shall be maintained as perpetual open space. All preserve areas have been designed to incorporate buffer areas adequate to protect the wetland resources from the impacts of adjacent development.

5.3 RIPARIAN CORRIDORS AND OAK WOODLANDS

Riparian corridors include the two intermittent creeks that flow through the plan area, Pleasant Grove Creek and the South Branch of Pleasant Grove Creek. Pleasant Grove Creek flows from east to west near the northern portion of the plan area through Neighborhoods A and C. The South Branch of the creek flows from southeast to northwest through Neighborhood B.

These deeply-cut channels carry storm-water flows and may dry by summer, but small pools typically persist. With increasing runoff from urban development upstream of the plan area, the streams can be expected to run throughout the year. Vegetation within the creek is often sparse, mainly due to the scouring effect of fast-moving water.

Mature riparian woodland, consisting primarily of Blue Oaks (*Quercus douglasii*), lines the main corridors of Pleasant Grove Creek and South Branch of Pleasant Grove Creek and their major tributaries.

Density of the riparian woodland decreases as one moves away from the creeks, yielding to the Blue Oak Savannah. This Blue Oak Savannah occupies a small portion of the plan area along the margins of the creek-lined woodland and in isolated clusters within the non-native grassland.



Within the oak woodland, Blue Oak generally occurs in pure stands. Other oak species occur only where adequate moisture is present. Valley Oak is uncommon and typically relegated to the inner channel of the creeks. Interior Live Oak may make up a portion of the canopy along the stream channel, but is limited to the understory a short distance from the water course. These mature trees do not appear to be regenerating sufficiently to sustain the woodland as it presently exists. This is due primarily to livestock and other animals grazing on the seedlings, and to livestock trampling and eroding the creek banks.

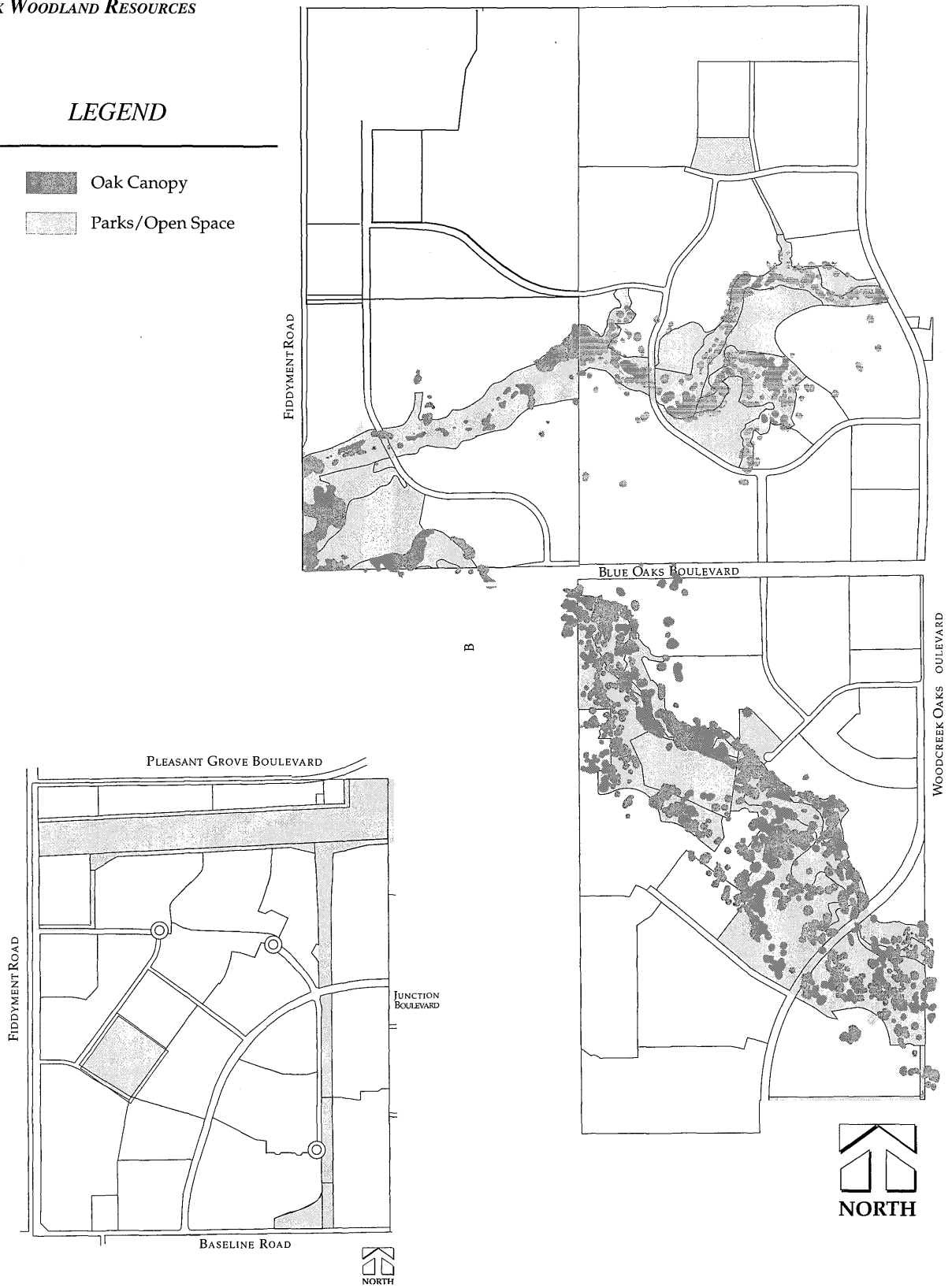
The North Roseville Specific Plan land-use plan is configured to retain a majority of the existing oak woodlands in permanent open space. The majority of oak woodland is within the designated and zoned open-space preserve areas. Of the estimated 81.8 acres of oak woodland identified in Phase 1, 69.2 acres, or approximately eighty-five percent (85%), are within open-space areas and are slated for preservation. Ninety-nine percent (99%) of the 16.6 acres of oak woodland identified in Phase 2 will be preserved. No native oaks exist within Phase 3.

To the extent practicable, native oaks outside of the open-space areas will be preserved through project design. The North Roseville Specific Plan is subject to the policies and procedures of the Roseville Zoning Ordinance, Tree Preservation Chapter 19.66. As a result, regulated activities within the protected zones of native oaks and trees proposed for removal are subject to approval of a tree permit by the city. The Ordinance requires that trees approved for removal be compensated on an inch-for-inch basis. A minimum of fifty percent (50%) of this compensation must be with native oak species.

FIGURE 5-2
OAK WOODLAND RESOURCES

LEGEND

-  Oak Canopy
-  Parks/Open Space



5.4 HISTORICAL AND CULTURAL RESOURCES

A cultural reconnaissance survey of the entire plan area revealed no indication of significant archeological sites; however, a small cultural resource site is located along the south side of Pleasant Grove Creek in Neighborhood C. (Peak & Associates, 1994) Much of this cultural resource area will be incorporated in the open space preserve area extending along the creek, however, a portion may be included in the area proposed for single family residential use (Parcel W-4) as permitted by the appropriate authority.



6. PUBLIC FACILITIES

6.1 GENERAL CONCEPT

The Public Facilities section of the Specific Plan defines the basic public services, facilities and infrastructure systems required to serve the plan area, and establishes general sequencing of each system in relation to project development.

Each component of the Specific Plan facilities and infrastructure system is designed to accommodate build-out of the Specific Plan. Each infrastructure component may be constructed in its entirety initially, but may also be constructed over time to coincide with subdivision entitlements as specified in the development agreement.

TABLE 6-1
SERVICE PROVIDERS

<u>Service</u>	<u>Provider</u>
Water	City of Roseville (raw water in Phase 3 from San Juan Water District)
Recycled Water	City of Roseville
Wastewater	City of Roseville
Drainage	City of Roseville
Solid Waste Disposal	City of Roseville
Police Protection	City of Roseville
Fire Protection	City of Roseville
Parks and Recreation	City of Roseville
High School	Roseville Joint Union High School District
Elementary School	Roseville City School District, Dry Creek School District (portion of Phase 2)
Library	City of Roseville
Electric Service	City of Roseville Electric Utility
Natural Gas	Pacific Gas & Electric
Telephone	Roseville Telephone Company and Pac Bell
Cable	Various privately owned services

6.2 PUBLIC FACILITIES SEQUENCING

The Phase 1 and 3 backbone improvements for the NRSP will generally be constructed in one phase through the CFD. The backbone improvements for Phase 2 will be constructed in two phases through the North Roseville Specific Plan Community Facilities District (CFD). Facility expansions into neighborhoods will be completed with development of each neighborhood. The Specific Plan identifies instances where the above approach is varied. Details relating to improvement requirements are included in the NRSP Development Agreements.

6.3 WATER

Phase 1

The water system is designed to be in compliance with the City's Water Master Plan. The backbone water infrastructure to serve Phase 1 includes a 24 inch line in Blue Oaks Boulevard and a 16 inch line in Woodcreek Oaks Boulevard. The 24 inch line in Blue Oaks Boulevard to the southeast corner of Neighborhood C (Phase 2) was constructed by the Del Webb Specific Plan. The 16 inch water-line extension in Woodcreek Oaks Boulevard to the crossing of Pleasant Grove Creek will be constructed as part of the Phase 1 improvements in the North Roseville Specific Plan.

The water distribution lines within each neighborhood will typically be 12 inch. A 12-inch water line will extend to the west boundary of Neighborhood A in Phase 1 and will

subsequently be connected to a 12 inch line in Neighborhood C. An alternative loop within Neighborhood C as approved by the City of Roseville may be considered, as shown in Figure 6-1.

Two well sites will be located in the Phase 1 Specific Plan area. The wells are to be located on sites of approximately 6,500 square feet adjacent to the backbone water lines and with public road access. Suitable locations occur in Phase 1 areas set aside in the Specific Plan in open space along the creeks, and shall be out of the floodplain and at least 100 feet from any watercourse. A third well site will be located in Phase 2 adjacent to the fire station location on the south side of Pleasant Grove Boulevard.

The location and size of all proposed water lines, the pressure reduction valve and the well sites are shown schematically in Figure 6-1.

Phase 2

Neighborhood C (Phase 2) will be served by a 12 inch water line extending north from the existing 24 inch water line in Blue Oaks Boulevard and from the 12 inch water line in Neighborhood A.

Neighborhood D (Phase 2) will connect to the existing 16 inch line in Pleasant Grove Boulevard constructed by the Del Webb Specific Plan, the 24 inch water line in Baseline Road, and the 12 inch line in Junction Boulevard. A 12" or 24" line, as required by the Development Agreement, will be extended from the easterly property boundary of Neighborhood D west along Baseline Road and Junction Boulevard to Fiddymment Road. A 12 inch line in Fiddymment Road will complete the loop in the water system between Pleasant Grove Boulevard and Baseline Road. Pressure-reducing stations will be required at the connections to existing lines in Junction Boulevard and in Baseline Road.

Phase 3

The water supply for Neighborhood E will be provided by the City of Roseville with raw water purchased from the San Juan Water District. The water will be drawn from Folsom Lake and treated at the Roseville Water Treatment Plant then delivered through the city's infrastructure. The 12" line serving Neighborhood E (Phase 3) will connect to the 12" line in Neighborhood A and the 12" line in Neighborhood C. Looping will be provided for each parcel within Neighborhood E.

The location and size of all proposed water lines, the pressure reducing valves and the well sites are shown schematically in Figure 6-1.

6.4 WASTEWATER

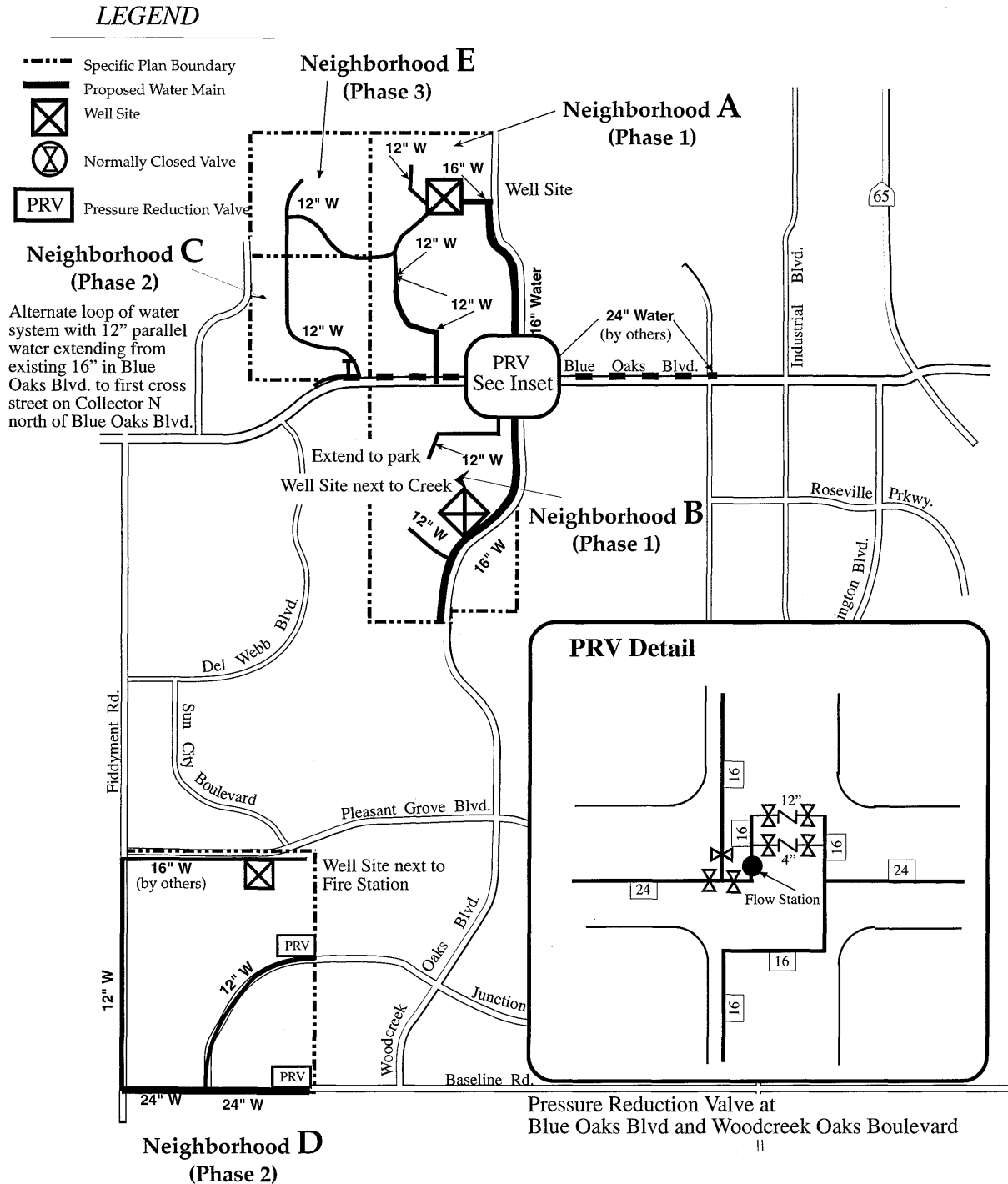
All sewer improvements are required to be consistent with the Regional Wastewater Master Plan. The Specific Plan area will be served by the Roseville Regional Wastewater Treatment Plant on Dry Creek at the end of Booth Road until the new treatment plant is constructed by the City on Pleasant Grove Creek.

The construction of the Pleasant Grove Creek trunk sewer along the Pleasant Grove Creek drainage will reduce the number of lift stations in the system, and will result in a more reliable gravity sewer system for the City and reduced energy consumption due to using a gravity system in-lieu of electrical pumping.

Phase 1

The wastewater system involves two phases: a short term and a long-term improvement plan. The construction of a new treatment plant on Pleasant Grove Creek will result in redirecting the wastewater flow from this plan area to the west. The wastewater system is designed to ultimately convey wastewater from Neighborhoods A, B, and C through a new

FIGURE 6-1
WATER DISTRIBUTION WITHIN PLAN AREA



Source: Wade Associates, February 4, 1999

NOTE: The 24" line in Baseline Road is subject to participation by others pursuant to the Development Agreement.



Pleasant Grove Creek trunk sewer along the Pleasant Grove Creek Alignment.

The Landowners will construct a new 42" gravity trunk line (the "42" Trunk Sewer) within Woodcreek Oaks Boulevard and the Neighborhood A Landowners will manage the construction of a new 72" gravity sewer trunk line (the "72" Trunk Sewer") through Neighborhood A. Neighborhood B will pay for a share of the cost of the 42" Trunk Sewer and the City will pay for the balance of the 42" Trunk Sewer and the 72" Trunk Sewer. Neighborhood A will be serviced by gravity flow mains either to Pump Station No.1, or to the 42" Trunk Sewer, or to a temporary pump station (the "Temporary North Pump Station") which will then pump such flows through a new temporary force main to be installed within Neighborhood A and along Blue Oaks Boulevard to the 42" Trunk Sewer. Neighborhood B will be serviced by gravity flow mains into the 42" Trunk Sewer. The force main for Neighborhood A will be designed to allow the City to convert the line to a recycled water line to serve Diamond Creek Park.

Until the Pleasant Grove Creek Treatment Plant is operational, wastewater from the plan area will flow to Pump Station No. 1, then will be pumped to the Dry Creek Treatment Plant. When the Pleasant Grove Creek Treatment Plant becomes operational, the plan area wastewater gravity flowing to either Pump Station No. 1 or the Temporary North Pump Station will be directed by gravity through the 72" Trunk Sewer to the new Treatment Plant and the Temporary North Pump Station will be abandoned.

Phase 2

When the Pleasant Grove Creek Treatment Plant begins operation the wastewater from Neighborhood C will gravity flow to the new plant through the new Pleasant Grove Creek 72" Trunk Sewer.

Before the Pleasant Grove Creek Treatment Plant is operational sewage from Neighborhood C will gravity

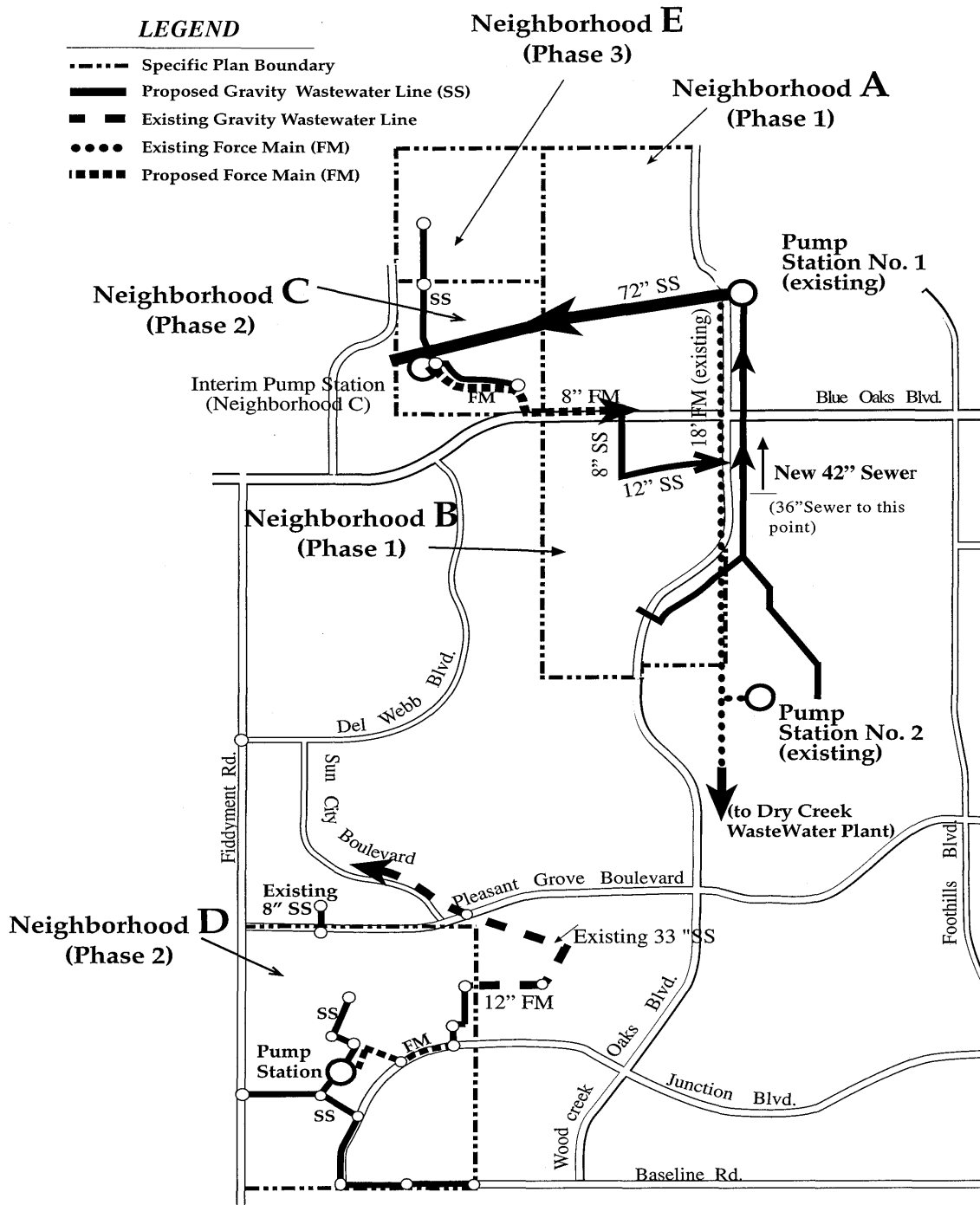
flow to an interim pump station located near the west edge of Neighborhood C in Parcel W-51. Sewage will be pumped from this interim pump station through the 8" force main in Blue Oaks Boulevard and then directed south to the existing gravity sewer system in Neighborhood B, where it will discharge to the 8" sewer in Collector "F". Sewage will gravity flow to the 12" sewer in Collector "G" then to the 42" sewer in Woodcreek Oaks Boulevard. The addition of the wastewater flow from Neighborhood C to the Neighborhood B system will require a temporary variance in the City's sewage discharge policy that at full buildout of both Neighborhood C and Neighborhood B, the 8" sewer in Collector "F" will flow at a rate above the allowable 70 percent of capacity and the 12" sewer in Collector "G" may surcharge at peak flow conditions.

To minimize the occurrence of these conditions, the interim pump station in Neighborhood C will be constructed to operate at 2 stages. Stage 1 will operate at the average daily flow rate. Stage 2 will operate at the flow rate necessary to obtain a velocity in the 8" force main of at least 3.5 feet per second in order to re-suspend solids. The second stage will operate once per day during off-peak operating hours. The second stage will also provide additional pumping capacity as may be necessary during peak flow conditions.

Wastewater in Neighborhood D, Phase 2, (Woodcreek West) will gravity-flow to a new lift station to be located on the east side of Woodcreek West Park (Parcel WW-50).

Wastewater will then be pumped to a gravity line located north of Junction Boulevard near the east boundary of the neighborhood. Wastewater will flow through a new gravity sewer near the power-line corridor in the northeasterly area of the neighborhood, and will then gravity flow east to the existing 33 inch sewer flowing north along Sun City Boulevard. This gravity line flows to Pump Station No. 5 located along Fiddymont Road at Del Webb. Modifications

FIGURE 6-2
WASTEWATER COLLECTION WITHIN PLAN AREA



will be required to Pump Station No. 5 for accommodating the additional flow from Neighborhood D.

Phase 3

Neighborhood E will be served by a gravity sewer line that flows south to the 72" Trunk Sewer and on to the new Treatment Plant that is planned to be in operation by December 2002. Until the new treatment plant is constructed by the City on Pleasant Grove Creek not more than 560 single family residential units within Neighborhood C and Neighborhood E (Phase 3) will be permitted to be served on an interim basis through the system installed in Neighborhood C and connected to the Roseville Regional Wastewater Treatment Plant on Dry Creek

6.5 RECYCLED WATER

Phase 1

Recycled water suitable for landscape irrigation in the parks and at Eskaton will be available from a new 30" recycled water line to be installed by the City from near Pump Station No. 2 to either the northern Plan Area boundary or to Collector A, as directed by the City and the 24" recycled water line in Collector A connecting the 30" recycled water line to the proposed cascade down the drainage way established in Parcel DC-82.

Lateral lines will be extended by Landowners to provide recycled water to serve Eskaton Village (Parcel EV-1), Diamond Creek Park (Parcels DC-52 and DC-54), and Pleasant Grove Park (Parcels WN-50 and WN-51).

The recycled water line serving Diamond Creek Park will be designed so that, until the 72" Trunk Sewer and Pleasant Grove Creek Treatment Plant are operational, such recycled water line will be used as a temporary wastewater force main to convey wastewater to the proposed 72" Trunk Sewer; at such

time as the 72" Trunk Sewer and the new Treatment Plant are operational, the City will rehabilitate and convert said temporary force main to a recycled water line.

Phase 2 and Phase 3

Recycled water will be provided to Woodcreek West Park (Parcel WW-50) in Neighborhood D from the existing recycled water line in Baseline Road. A recycled water line will be extended to Junction Boulevard, then west to a local street that will extend into Woodcreek Park.

Recycled water will be provided to Fiddymment Park in Neighborhood C from the recycled water line extending along Blue Oaks Boulevard to the west edge of Neighborhood A (Phase 1). The recycled water line will be extended west along Blue Oaks Boulevard then north along Collector N to Fiddymment Park in Neighborhood C and then north to Crocker Ranch Park in Neighborhood E.

A schematic diagram of the existing and proposed recycled water delivery system is shown in Figure 6-3.

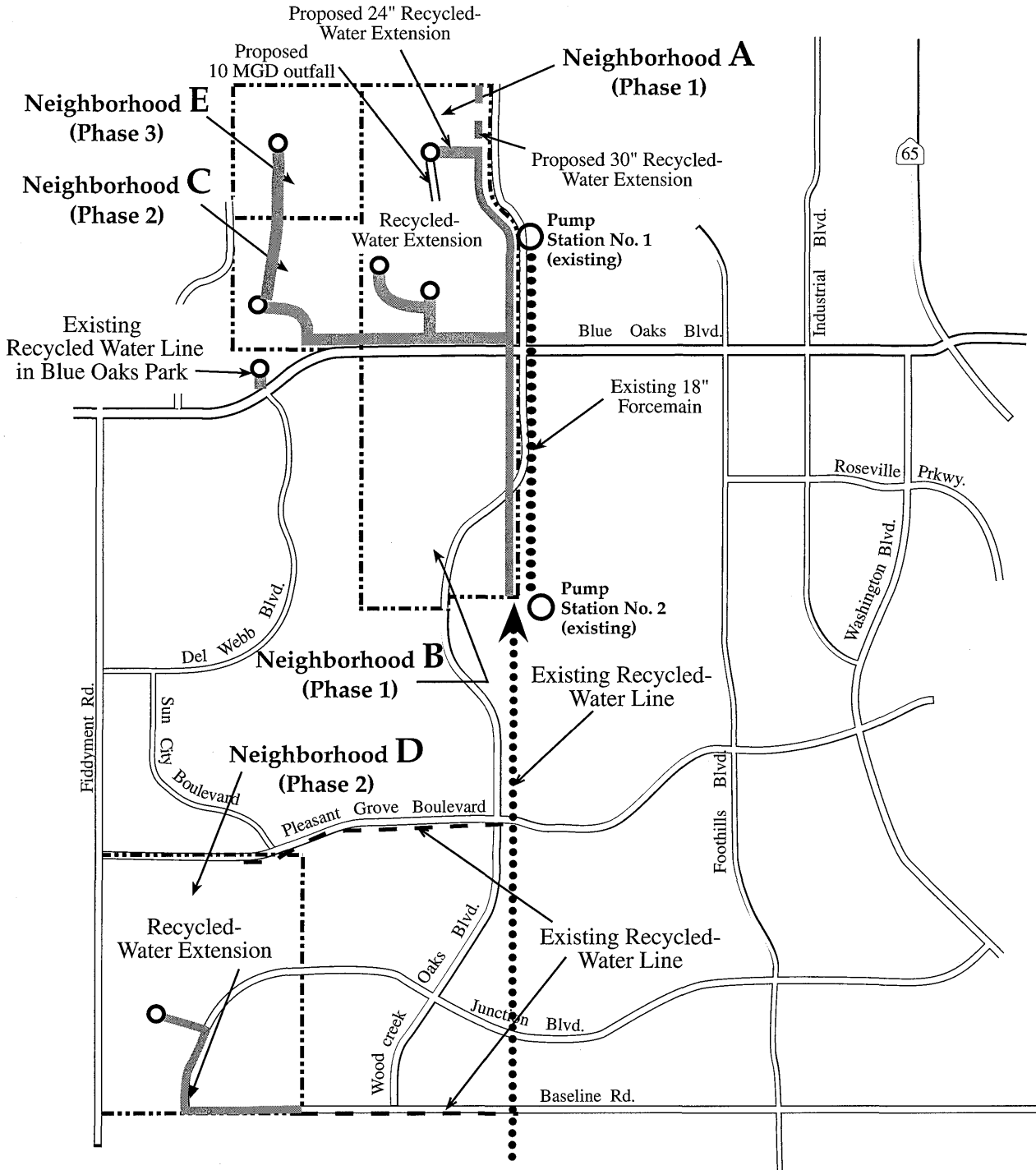
6.6 DRAINAGE AND FLOOD CONTROL

The Specific Plan area is primarily in the Pleasant Grove Creek watershed. The main branch of Pleasant Grove Creek extends approximately one and a quarter miles, and the South Branch of Pleasant Grove Creek extends approximately one mile through the plan area. Both branches of the creek are generally sharply defined with vertical banks and a narrow floodplain varying from approximately 10 feet to 350 feet wide.

Phase 1, Phase 2 Neighborhood C and Phase 3

Improvements to the drainage system within the Specific Plan area will include rechannelization of minor tributaries, construction of pipe conveyance systems and construction of culverts and bridges. Due to the location of this project within the Pleasant Grove Watershed, hydrologic modeling indicated

FIGURE 6-3
RECYCLED WATER DISTRIBUTION WITHIN PLAN AREA



that detention of runoff would likely contribute to peak flows downstream. Therefore, no detention facilities are proposed for that portion of the project within the Pleasant Grove Creek Watershed. The same is true for Neighborhood C in Phase 2 and Neighborhood E (Phase 3).

Phase 2 (Neighborhood D)

Neighborhood D (Phase 2) drains to Curry Creek. Within this watershed, hydrologic analysis indicates that detention would benefit peak flows downstream. A detention basin encompassing approximately 3 acres is located along the north side of Baseline Road in Freerun Park (Parcel WW-51). This basin is designed to detain waters flowing south from the plan area. In addition, approximately 6 acres of Woodcreek Oaks Park (Parcel WW-50) will be used for detention.

This basin is located at the headwaters of Curry Creek and will detain water flowing west.

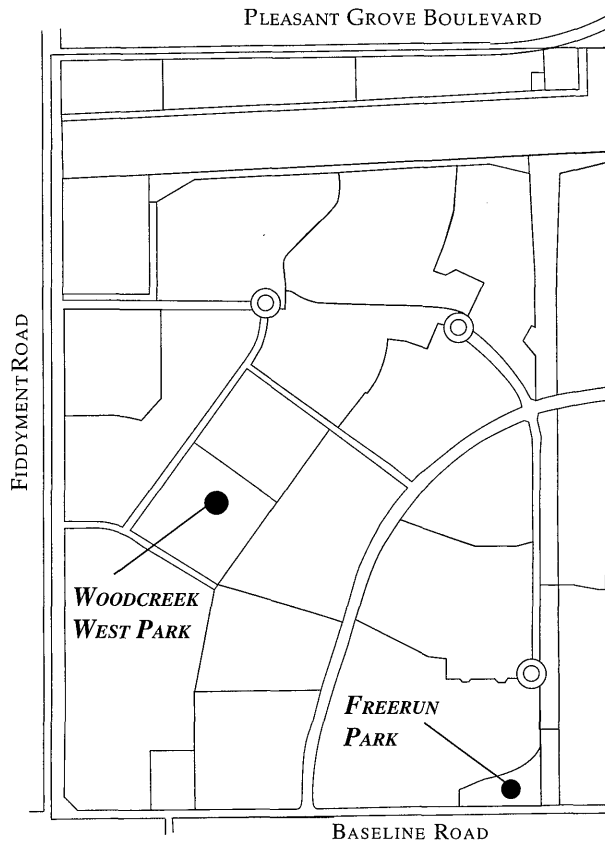
The design and construction of storm-water collection facilities will be in accordance with the current City of Roseville Improvement Standards and will be reviewed by the Placer County Flood Control District.

6.7 FIRE PROTECTION

Fire protection, suppression, emergency medical services and hazardous materials management will be provided by the Roseville Fire Department. The standard fire response would include two 3-person engine companies, one 4-person ladder truck company and one chief officer.

The first responding station to Phase 1, Neighborhood C (Phase 2) and Neighborhood E (Phase 3) will be the Blue Oaks Fire Station. A site for this facility has been secured in the Del Webb Specific Plan. To better serve the North Roseville Specific Plan, North

FIGURE 6-4
PHASE 2 DRAINAGE BASIN LOCATIONS



Industrial Area and the North Central Roseville Specific Plan area, the site for this Blue Oaks Station may be relocated to the east of the NRSP along Blue Oaks Blvd. (Refer to Figure 6-5).

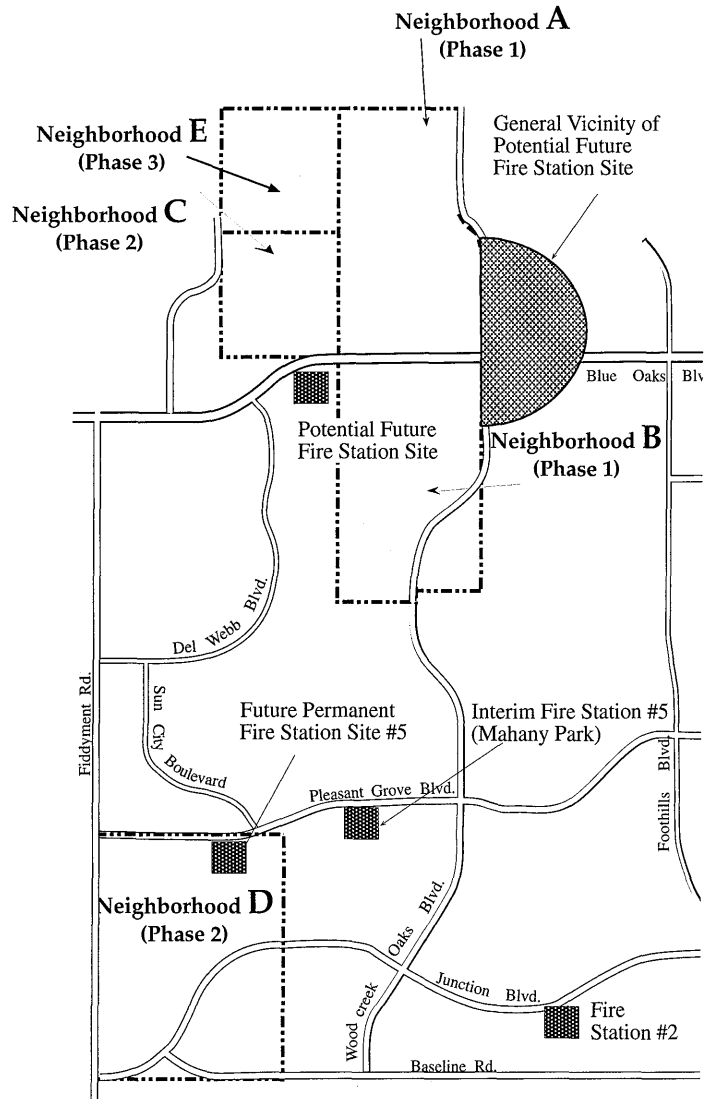
Fire Station No. 5 will serve as the primary responding engine for Neighborhood D and the second responding engine for Phase 1, Station No. 5 is an interim station currently located in Mahany Park. The site for a permanent Fire Station No. 5 is located in Neighborhood D (Phase 2) on the south side of Pleasant Grove Boulevard. This 1.5 acre site will accommodate the permanent station when the interim station in Mahany Park is phased out. The site is centrally located to serve the west side of the City.

Fire Station No.2 Engine Company will serve as the second responding engine for Neighborhood D. Station #2 is located at 1398 Junction Boulevard. Stations No. 2 and No. 5 will be able to provide first response within four minutes for approximately 80 percent of Neighborhood D. The balance of Neighborhood D will be accessible within the City's secondary response time.

6.8 POLICE PROTECTION

The North Roseville Specific Plan area will be served by the Roseville Police Department. The police department provides all operations and patrols out of

FIGURE 6-5
FIRE STATION LOCATIONS



a central station located on Junction Boulevard approximately 3 miles from the Specific Plan area.

The North Roseville Specific Plan will comply with the City of Roseville's Building Security Ordinance to enhance the safety and security of residents.

6.9 PARKS AND RECREATION

A total of four new park sites will be dedicated in Phase 1 in the NRSP. Three parks will be dedicated in Phase 2. These include two neighborhood parks and a dog exercise park. A single neighborhood park will be developed in Phase 3. These new parks will be operated by the Roseville Parks and Recreation Department.

In addition to the park sites provided in the Specific Plan area, Mahany Park is located nearby at the intersection of Pleasant Grove Boulevard and Woodcreek Oaks Boulevard. Existing and planned facilities in this regional park include a recreation center, community swim center, little-league complex, softball and soccer fields, and a library.

With the city-wide facilities in Mahany Park so near, the parks in the plan area are primarily oriented to the neighborhoods surrounding them. The parks are typically large for neighborhood parks, but they include active recreation facilities. In most cases, they encompass the extensive oak woodlands along the major creeks and therefore, are of city-wide interest. These parks and the adjacent open space are key features that help define the character of the plan area. An extensive trail system connects the parks and open space with the schools, commercial areas and residences.

While not reflected in the Specific Plan Park Schematic figures, opportunities will be explored to incorporate common garden areas and offer unique neighborhood features into the final park designs.

6.9.1 City of Roseville Park and Recreation Requirements and Credits

The new park facilities comply with the City General Plan standard, which requires the dedication of nine acres of park land per 1,000 residents. The nine acres is to be comprised of three acres of neighborhood or community parks, three acres of city-wide park and three acres of open space for every 1,000 residents. Each acre set aside for active park use is credited as a full acre. Partial credit ranging from 1:5 to 1:10 (one credit acre for five to ten acres) may be granted for an open space area that includes non-traditional recreational facilities and enables the preservation of unique environmental opportunities.

The Specific Plan park dedication requirements are summarized on Tables 6-2 and 6-3. Acreages and credits applied to the plan area are summarized on Table 6-4. As can be seen from the tables, the Specific Plan area, in total, exceeds the City's General Plan requirements.

The substantial park area in the Woodcreek North project is intended to provide park area credit towards the park area requirement for Woodcreek West (Neighborhood D in Phase 2), provided that park area meets the active recreation needs of the Woodcreek West residents.

TABLE 6-2
SUMMARY OF PARK AREA REQUIRED AND PROVIDED FOR THE ENTIRE PLAN AREA
(PHASE 1, 2 AND 3)

	Phase 1	Phase 2	Phase 3	TOTAL
Total Park Area Required	52.8	56.3	15.5	124.4
Credited Park Area Provided	88.44	35.43	9.0	132.9

TABLE 6-3
SUMMARY OF PARK AREA CALCULATION

	PHASE 1				PHASE 2		PHASE 3
	Woodcreek North	Diamond Creek	Eskaton Village	Mourier 140	Woodcreek West	Mourier 160	Drs. Ranch
Rezoned Area Total Acreage	232.9	308.8	52.1	140.5	492.6	161.0	160.0
Total Units	566	997	400	511	2,014	452	669
All Residential Units (less Eskaton)	566	997		511	2,014	452	669
Population	1,438	2,532	600	1,298	5,116	1,148	1,700
Required Total Park Acreage (.009 ac/ resident)	12.9	22.8	5.4	11.7	46.0	10.3	15.3
Open Space	45.4	19.6	0.0	13.4	57.3	35.6	0.0
Proposed Net Active Park Acreage	42.8	35.1	0.0	2.7	12.7	13.4	9.0
Proposed Total Park and Open-Space Acreage	88.2	54.7	0.0	16.1	70.0	49.0	9.0
Park Acreage Credit (See Table 6-4)	47.34	37.1	0.0	4.0	18.43	17.0	9.0

TABLE 6-4
DESIGNATED PARK AND OPEN SPACES

Parks	Parcel #	Actual Acreage	Allowance	Park Credit
North School Park	DC-50	4.2	1:1	4.2
Diamond Creek Park	DC-51	3.6	1:1	3.6
Diamond Creek Park	DC-52	9.0	1:1	9.0
Diamond Creek Park	DC-53	10.6	1:1	10.6
Diamond Creek Park	DC-54	7.7	1:1	7.7
Commons Park	M-50	2.7	1:1	2.7
Pleasant Grove Creek Park	WN-50	26.3	1:1	26.3
Pleasant Grove Creek Park	WN-51	16.5	1:1	16.5
Parks Subtotal:		80.6		80.6
Open Space	DC-80	6.5	1:10	.65
Open Space	DC-81	13.1	1:10	1.31
Open Space	M-80	10.5	1:10	1.05
Open Space	M-81	2.9	1:10	.29
Open Space	WN-80	6.8	1:10	.68
Open Space	WN-81	10.8	1:10	1.08
Open Space	WN-82	9.2	1:10	.92
Open Space	WN-83	1.5	1:10	.15
Open Space	WN-84	0.5	1:10	.05
Open Space	WN-85	16.6	1:10	1.66
Open Space Subtotal:		78.4		7.84
PHASE 1 TOTAL PARK AND OPEN SPACE		159.0		88.44
Woodcreek Park	WW-50	12.0	1:1	12.0
Freerun Park	WW-51	3.7	1:5	0.7
Fiddymment Park	W-50	12.7	1:1	12.7
Fiddymment Park	W-51	0.4	1:1	0.4
Fiddymment Park	W-52	0.3	1:1	0.3
Park Subtotal:		29.1		26.1
Open Space	W-80	16.6	1:10	1.66
Open Space	W-81	10.0	1:10	1.0
Open Space	W-82	4.8	1:10	0.48
Open Space	W-83	4.2	1:10	0.42
Open Space (Wetland Compensation)	WW-82	41.8	1:10	4.18
Open Space	WW-86	7.5	1:10	0.75
Open Space	WW-87	3.5	1:10	0.35
Open Space	WW-88	3.3	1:10	0.33
Open Space	WW-89	1.2	1:10	0.12
Open Space Subtotal:		92.9		9.29
PHASE 2 TOTAL PARKS AND OPEN SPACE		122.0		35.39
Crocker Ranch Park	DR-50	9.0	1:1	9.0
Park Subtotal		9.0		9.0
PHASE 3 TOTAL PARKS AND OPEN SPACE		9.0		9.0

6.9.2 Park Site Descriptions

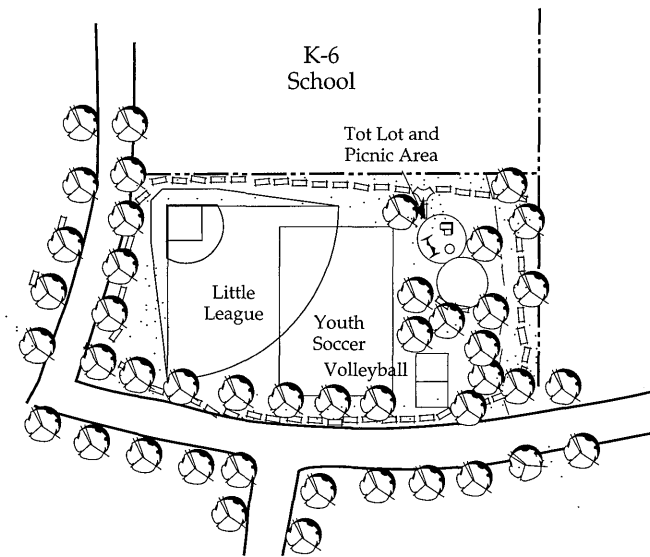
Neighborhood “A” Parks

Parks in Neighborhood A are linked to one another via the natural open-space corridor created by Pleasant Grove Creek. Parks in this area are further linked through landscaped corridors along streets. Neighborhood A encompasses a collective 35.1 acres of active park land.

North School Park

North School Park (Parcel DC-50) is 4.2 acres and is designated for joint use with the 8.0-acre elementary school located immediately to the north. Public facilities in North School Park may include softball and soccer fields, picnic areas, a tot lot, and large, grassy open areas for multiple use.

FIGURE 6-6
NORTH SCHOOL PARK

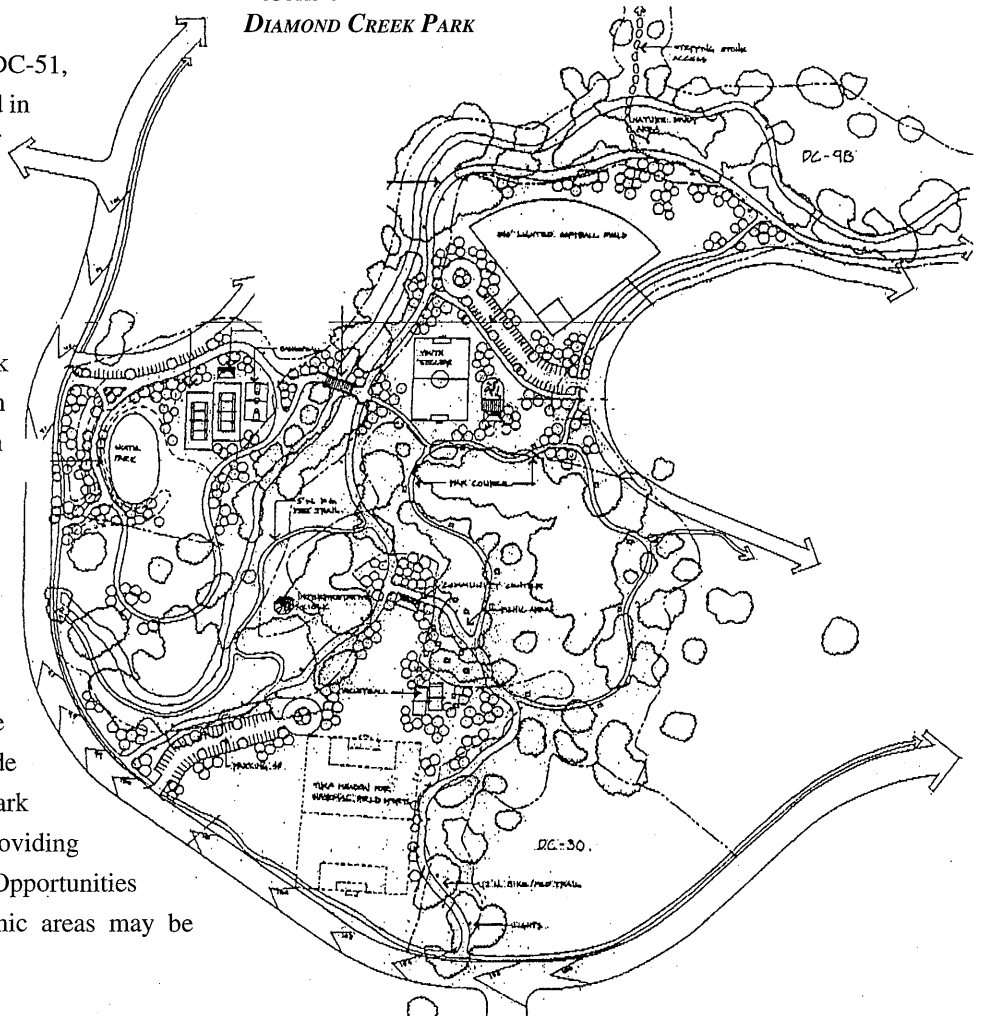


Diamond Creek Park

Diamond Creek Park (Parcels DC-51, DC-52, DC-53, DC-54) is located in the central portion of Neighborhood A's Diamond Creek property. The 30.9-acre Diamond Creek Park follows the Pleasant Grove Creek corridor.

Public facilities in Diamond Creek Park may include active uses such as softball and soccer fields (both lighted and non-lighted), basketball and tennis courts, volleyball, large turf areas, picnic areas, tot lots and playgrounds, a small (1500 sq. ft.) community center and parking areas. Passive uses such as trails will also be featured in this park. Paved creekside trails will meander through the park and adjacent open-space areas, providing vital linkages to other area uses. Opportunities for interpretive centers and picnic areas may be provided as well.

FIGURE 6-7
DIAMOND CREEK PARK



Neighborhood "B" Parks

Parks in Neighborhood B are linked to one another via the natural open-space corridor created by the South Branch of Pleasant Grove Creek. Neighborhood B encompasses 44.6 active acres of park land.

Commons Park

Commons Park (Parcel M-50) is located in the central portion of Neighborhood B just north of the South Branch of Pleasant Grove Creek. The 2.7-acre Commons Park serves as a neighborhood commons and a portal to the pedestrian bridge in the creek pedestrian corridor. Facilities in Commons Park may include a play and picnic area, basketball courts and open space.

Pleasant Grove Creek Park

Pleasant Grove Creek Park (Parcels WN-50 and WN-51) is located in the center of Neighborhood B, adjacent to Woodcreek Oaks Boulevard. A portion of the park lies east of Woodcreek Oaks Boulevard to serve the small neighborhood there. A pedestrian connection along the creek will run under Woodcreek Oaks Boulevard. Facilities in the 42.8 acre Pleasant Grove Creek Park will include both active and passive recreation opportunities, including a possible amphitheater and basketball courts, turf areas for active play, picnic areas, a tot lot, and connections to the trail systems. A minimum of three acres suitable for a softball diamond or soccer field will be adjacent to the school.

Neighborhood "C" Parks

Fiddymt/ Blue Oaks Park (Veterans Park)

Fiddymt Park (Parcels W-50, W-51, W-52) is located adjacent to Blue Oaks Park along Blue Oaks Boulevard. The park (13.4 acres) will function as a neighborhood park and may include active facilities such as soccer and

FIGURE 6-8
COMMONS PARK

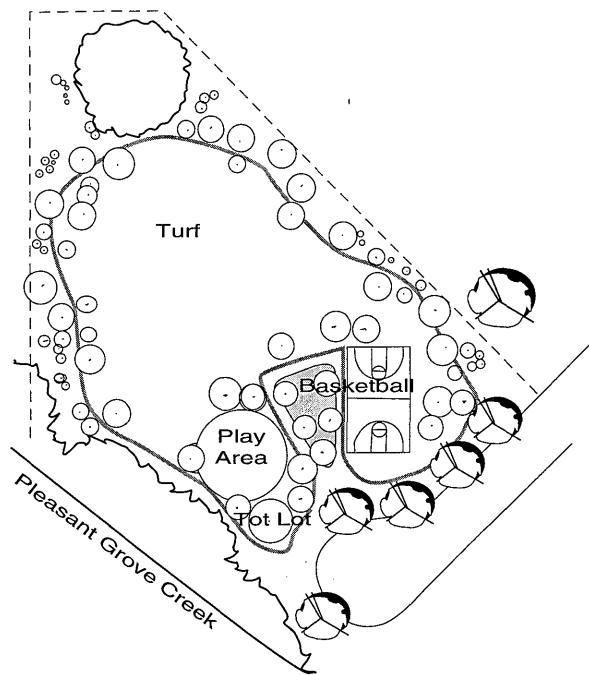


FIGURE 6-9
PLEASANT GROVE PARK

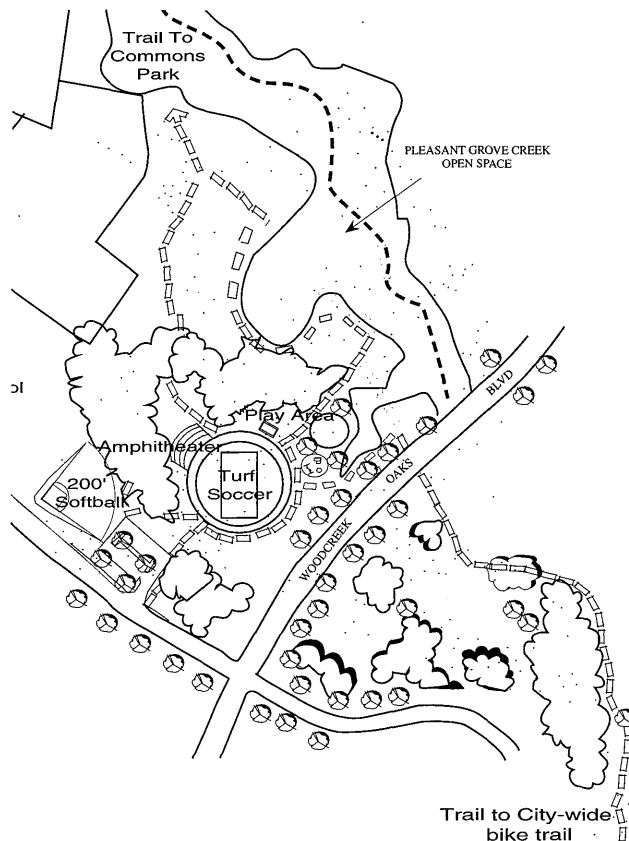


FIGURE 6-10
FIDDYMENT PARK

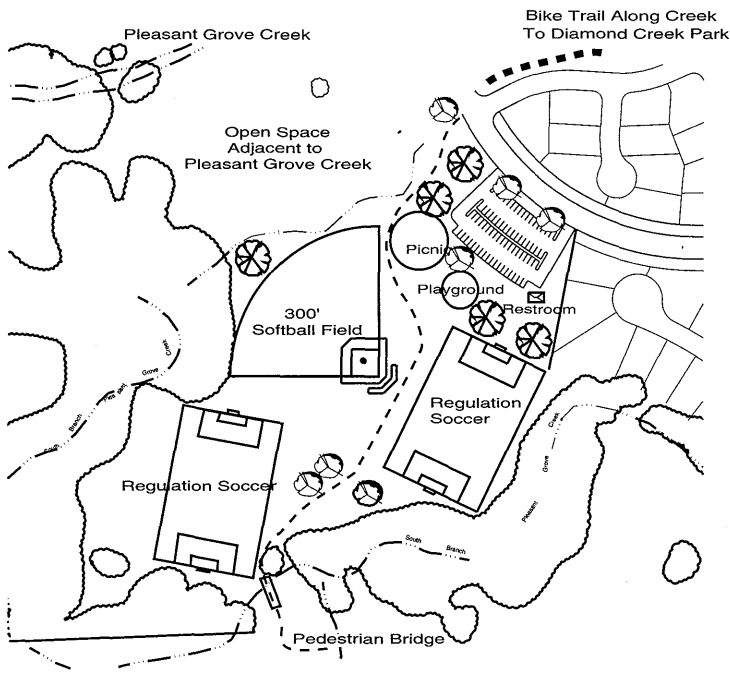
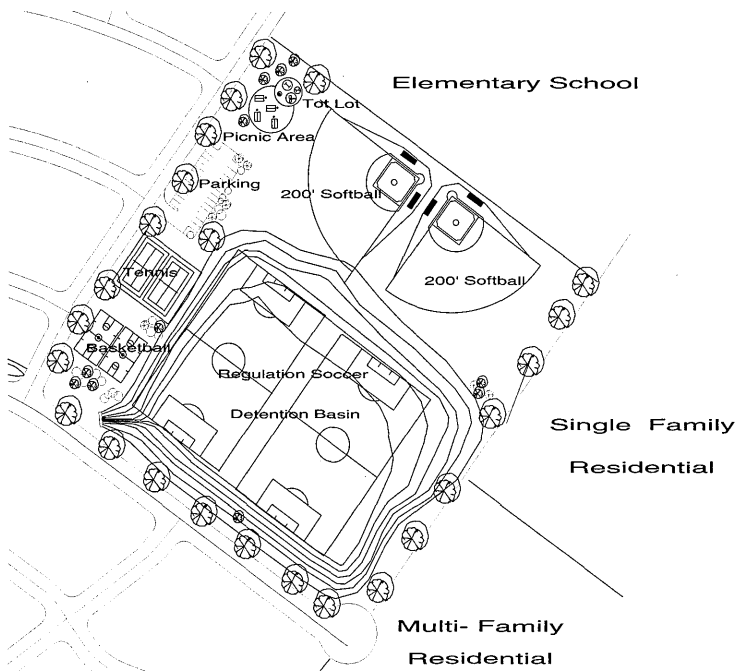


FIGURE 6-11
WOODCREEK WEST PARK



softball fields, as well as picnic areas, tot lots and parking.

A trail in the open space along Pleasant Grove Creek will link this park with Diamond Creek Park to the east. A trail, as provided by the Del Webb Specific Plan, will cross under Blue Oaks Boulevard from Blue Oaks Park and will connect to the Commons Park and Pleasant Grove Park to the southeast along the South Branch of Pleasant Grove Creek.

Neighborhood "D" Parks

Woodcreek West Park

Woodcreek West Park (Parcel WW-50) is located in the western-central portion of Neighborhood D. The park is intended to provide active sports facilities and informal recreation as well as picnic areas for the neighborhood. Facilities in the 12.0 acre park may include tennis, softball, baseball, soccer, basketball, a recreation court, tot lot, picnic areas and multiple-purpose turf, and a parking area.

The active field areas (approximately six acres) will be designed to accommodate storm water detention. Active recreation facilities will supplement the facilities at the adjacent elementary school through a joint use arrangement with the Dry Creek School District.

Freerun Park

The 3.7 acre pocket park (Parcel WW-51) is intended to provide an informal recreation area and a place to exercise dogs. Facilities will include turf, tables, benches and a parking lot. A portion of the park will be fenced to permit unleashed dogs to run free.

The park is a joint use facility that will provide storm water detention. Approximately 3 acres will be landscaped to accommodate periodic temporary flooding. A bike trail will run through the linear greenway that extends north through the neighborhood. At the north end of the greenway the bikeway will extend east through the existing open space and connect to Mahany Park.

FIGURE 6-12
FREERUN PARK

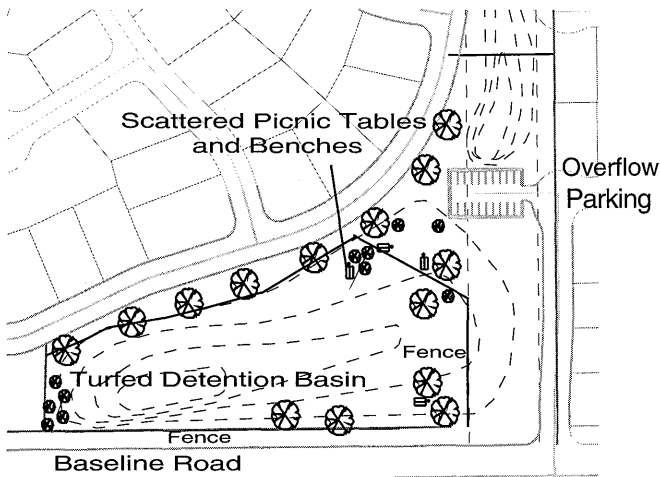
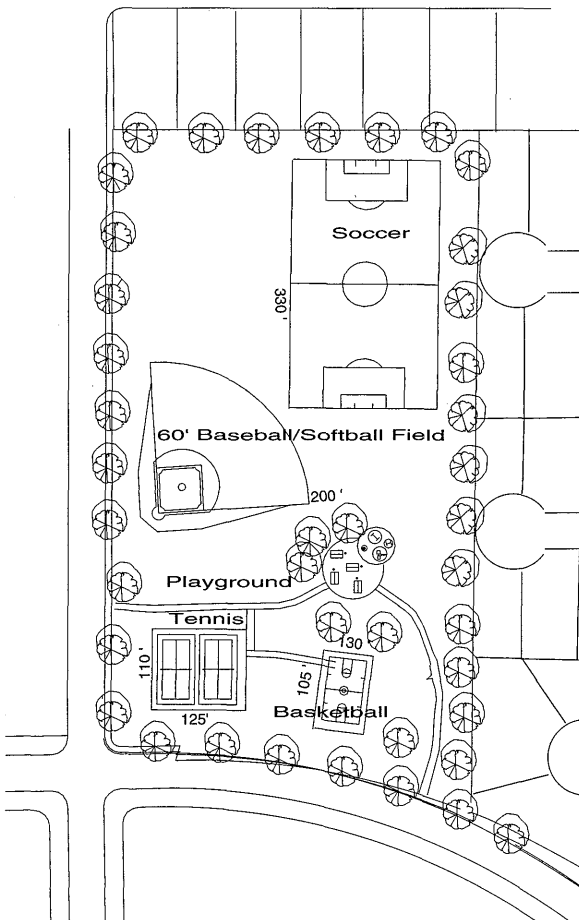


FIGURE 6-13
CROCKER RANCH PARK



Neighborhood "E" Park

Crocker Ranch Park

The 9.0 acre park (Parcel DR-50) is a neighborhood park that accommodates active sports, as well as passive and informal recreation. The park will provide a picnic area, children's play ground, two tennis courts, one basketball court, a softball field, and a soccer field.

A Class II bike path along the adjacent collector street will connect this park to Fiddymment/Blue Oaks Park (Veterans Park) and the Class 1 bike trail along Pleasant Grove Creek.

Park Sequencing

The Phase 1 Community Facilities District will provide \$500,000 of advance funding for park development. These funds will be used to construct the pedestrian bridge, as well as bike trails that create the link to Commons Park, as shown in Figure 6-9, and an initial phase of Diamond Creek Park. Additionally, Commons Park and a portion of Fiddymment/Blue Oaks Park will be constructed turnkey with the development of Neighborhood B and E. All other park development will occur on a fee available basis.

6.10 SCHOOLS

6.10.1 High School

The North Roseville plan area is entirely within the Roseville Joint Union High School District. Woodcreek Oaks High School, a new state-of-the-art facility, is located immediately south of Mahany Park near the plan area.

Residential development within the plan area will generate an estimated 1,029 high school students. Although new, the Woodcreek High School is near capacity and additional students will need to be housed elsewhere in the District.

The cumulative impact of this plan area and other proposed projects within the High School District will adversely affect the District's ability to adequately house students. The Landowners will be required to enter into a Mutual Benefit Agreement with the District for the payment of school impact fees.

6.10.2 Elementary and Junior High Schools

All of Neighborhoods A, B, C and E are within the Roseville City School District.

Two elementary-school facilities and one intermediate-school campus are planned for the Roseville City School District. North School (Parcel DC-70) is an 8.0 acre elementary school site in Neighborhood A. Central School (Parcel WN-70) is an 8.0 acre elementary school site in Neighborhood B. A 22.3-acre junior high site (M-70) is located in Neighborhood B along the South Branch of Pleasant Grove Creek adjacent to Blue Oaks Boulevard.

Neighborhood D is in the Dry Creek Elementary School District. A 10-acre elementary school site (WW-70) is located adjacent to the 12.0-acre neighborhood park site (WW-50) in this neighborhood and offers opportunities for sharing of facilities.

The school-enrollment estimates for each neighborhood and for the elementary and high-school districts are summarized in Table 6-5.

The Dry Creek School District will construct an administration facility on Parcel WW-71. The administration facility is envisioned as a community center that will provide space for off- hour meetings, evening adult classes, faculty training and other community activities in addition to the primary function as an administrative center for the District.

School Sequencing

School sites shown on the plan are reserved for the school district. The sequence of development of these sites will be determined by the district.

The North Roseville Specific Plan is required to fully mitigate school impacts in accordance with the Specific Plan Development Agreements.

6.11 LIBRARY

A 10,300 square-foot city branch library will be located adjacent to the plan area within Mahany Park. A proposed library facility of equal size is also planned in the North Central Specific Plan area at the northeast intersection of Roseville Parkway and Eastpark Drive.

The City's General Plan standard for new library facilities is one new branch library (approximately 10,300 square feet) for every 15,000 to 20,000 population. The North Roseville Specific Plan area is expected to ultimately produce a population of 6,645 residents in Phase 1. Phase 2 will generate 6,568 residents, and there will be 1,700 residents in Phase 3. The City's planned library facilities are anticipated to be adequate to serve plan area residents.

6.12 UTILITIES

6.12.1 Electric

The Roseville Electric Department will supply electricity in the Plan Area. The Electric Master Plan calls for construction of 60kv overhead lines along Fiddymment Road to Blue Oaks Boulevard, and an extension of these lines to the east along the north side of Blue Oaks Boulevard to Woodcreek Oaks Boulevard. In addition, an existing 60kv overhead line north of Blue Oaks will be extended north along Woodcreek Oaks Boulevard to the northern boundary of the Plan Area. Although not required for the Plan Area, a 60kv overhead line may also be constructed along Fiddymment Road north of Blue Oaks Blvd.

TABLE 6-5
SCHOOL FACILITY REQUIREMENTS

Phase 1

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
	units	1,778	331			
Grades K-6		0.4039	0.1456	766	600	1.28
Grades 7-8		0.1106	0.0395	210	800	0.26
	Total:			976	1,400	
Roseville High School District						
	units	1,778	331			
Grades 9-12		0.2362	0.0445	435	1800	0.24
	Total:			435	1800	

Phase 2

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
	units	452				
Grades K-6		0.4039	0.1456	183	600	0.30
Grades 7-8		0.1106	0.0395	50	800	0.06
	Total:			233	1,400	
Roseville High School District						
	units	1,910	556			
Grades 9-12		0.2362	0.0445	476	1800	0.26
	Total:			476	1800	

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Dry Creek Joint Elementary School District (Woodcreek West Only)						
	units	1,458	556			
Grades K-5		0.3480	0.1710	602	750	0.80
Grades 6-8		0.1140	0.0900	216	1,100	0.20
	Total:			819	1,850	

Phase 3

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
	units	669				
Grades K-6		0.4039	0.1456	270	600	0.45
Grades 7-8		0.1106	0.0395	74	800	0.09
	Total:			344	1,400	
Roseville High School District						
	units	669				
Grades 9-12		0.2362	0.0445	158	1800	0.09
	Total:			158	1800	

Phase 1,2 and 3 Combined

		Single Family/ Detached	Multi Family / Attached	Students Generated	School Capacity	Schools Required
Roseville City School District						
	units	2,899	331			
Grades K-6		0.4039	0.1456	1,219	600	2.03
Grades 7-8		0.1106	0.0395	334	800	0.42
	Total:			1,553	1,400	
Dry Creek Joint Elementary School District (Woodcreek West Only)						
	units	1,458	556			
Grades K-5		0.3860	0.1710	658	750	0.88
Grades 6-8		0.1320	0.0900	242	1,100	0.22
	Total:			900	1,850	
Roseville High School District						
	units	4,357	887			
Grades 9-12		0.2362	0.0445	1,029	1800	0.57
	Total:			1,029	1800	

Total units does not include 110 dwellings designated for senior, handicapped and disabled persons in Parcel WW-17.

An electrical substation will be located on a one-acre site (DC-90) on the Diamond Creek property. A major receiving station has been constructed adjacent to Neighborhood D, south of Pleasant Grove Boulevard and east of Fiddymment Road.

Neighborhood E will be served with an off-site utility distribution system. The off-site line will extend south through Neighborhood D along Collector Road N, then west along the north side of Blue Oaks Blvd. to the line near the existing alignment of Fiddymment Road. (See Figure 6-14).

All electric facilities will be constructed in accordance with the current City standards.

6.12.2 Street Lighting

Street lighting will be provided along all city roadways in the plan area at intervals in accordance with city policy. Street lights will be financed and constructed as part of the roadway frontage improvements. Refer to the discussion on street lighting along arterial and collector streets in Appendix A, North Roseville Design Guidelines.

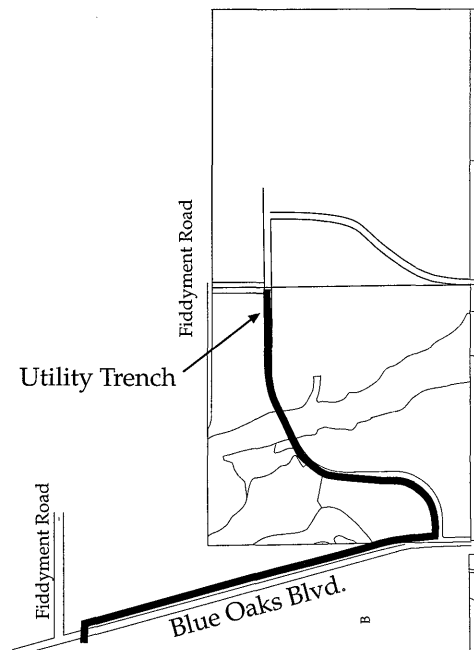
6.12.3 Natural Gas

Natural gas will be provided by Pacific Gas and Electric Company (PG&E) on request and in accordance with the rules and tariffs of the California Public Utilities Commission. Although PG&E's long-range plans provide for availability of gas service to accommodate increased demand, delivery of gas service to any particular subdivision will need to be reviewed by PG&E at the time of proposal.

6.12.4 Communication

The North Roseville Specific Plan will be served by Roseville Telephone, Pacific Bell and one or more private cable television companies. Appurtenant facilities may be installed at grade level per existing utility construction standards. Distribution lines to individual tracts will occur as development takes place.

FIGURE 6-14
OFF-SITE ELECTRIC UTILITY ROUTING
NEIGHBORHOOD E



6.13 SOLID WASTE

Collection of solid waste within the City is operated and managed by Roseville's Environmental Utilities Department. Fees in the form of refuse collection rates are charged to cover the costs of collection and disposal. Temporary refuse collection and disposal, as in construction and demolition, is normally handled by private firms.

The cities of Roseville, Lincoln, Rocklin and Placer County have formed the Western Placer Waste Management Authority to provide solid waste management. The Authority is assigned the lead role in cooperative policy making with respect to solid waste issues. The western portion of the County, including Roseville, is served by the regional facility located at the southwest corner of Athens Road and Fiddymment Road. The landfill is a Class III non-hazardous site and is operated by a private firm under contract to the Authority.

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7. IMPLEMENTATION

7.1 DEVELOPMENT AGREEMENTS

The City, subject to the provisions of this Specific Plan, has executed project development agreements with each individual land owner in accordance with City of Roseville Zoning Ordinance No. 3014. The individual project development agreements are the primary implementation tool for the specific plan. The agreements are binding contracts between the city and land owners, which set the terms, conditions, rules, regulations, entitlements, vested rights and other provisions relating to development of the plan area. Included are provisions relating to infrastructure improvements, public dedication requirements, landscaping amenities and other obligations of the parties. The project development agreements have 20-year terms, run with the property, and may be modified only by mutual consent of the City and the landowner.

7.2 MITIGATION MONITORING

A mitigation-monitoring program consistent with Public Resources Code 21081.6 has been adopted with the EIRs for the plan. The purpose of the mitigation-monitoring program is to ensure implementation of mitigation measures included in the EIRs.

7.3 FINANCING OF PUBLIC IMPROVEMENTS

The development of the public improvements necessary to serve the residents and businesses in the plan area will be funded by a variety of methods. Backbone infrastructure in Phase 1, Phase 2 and Phase 3 will be funded by a Community Facilities District (CFD). A general approach to financing improvements is summarized in Table 7-1.

The financing, improvement obligations, payment of fees, reimbursements, land dedications and conveyances, maintenance of public facilities, and other public-facility financing obligations are included in the North Roseville Specific Plan Development Agreements.

TABLE 7-1
PUBLIC IMPROVEMENTS PRIMARY FINANCING

Facility	Typical Financing Methods
Major Roads and Utilities	Fees and CFD ¹
Water Supply	Fees and CFD ¹
Water Transmission	Fees and CFD ¹
Recycled Water	Fees and CFD ¹
Wastewater Collection and Treatment	Fees and CFD ¹
Drainage Improvements	Fees and CFD ¹
Parks	Turn Key, Fees and CFD ¹
School-Site Acquisition	Fees and CFD ¹
School Construction	Fees
Library	Fees
Fire Facilities	Fees and CFD ¹
Landscape Maintenance	CFD ¹

¹. Community Facilities District or developer financing.

7.4 SUBSEQUENT ENTITLEMENTS

Development within the plan area is subject to approval of subsequent permits and entitlements by the City, in accordance with the Zoning Ordinance and other applicable titles in the Roseville Municipal Code. In addition, permits may be required by other agencies such as the U.S. Army Corps of Engineers and Department of Fish and Game. Depending on the type of development proposed, the following permits and associated review and approval may be required:

- Administrative Permit
- Design-Review Permit
- Design Review for Residential Subdivision
- Major Project Permit
- • Conditional-Use Permit
- Sign Permit
- Tentative Map
- TSM plan
- 404 Permit
- RWQCB water quality certificate
- F and A streambed A4 agreement
- State storm water/NPDES
- PLAPCID authority to construct
- HAZ material permits

7.5 SPECIFIC PLAN AMENDMENT PROCEDURES

The specific plan may be amended by resolution through the same procedures by which it was adopted. Such amendments require review by the Roseville Planning Commission and Roseville City Council. Each amendment shall include all sections or portions of the Specific Plan that are affected by the change, to ensure internal consistency. All amendments are required to be consistent with the City of Roseville General Plan.

The Planning Director may make the determination that a proposed change is consistent with the intent and basic provisions of the NRSP, and therefore in substantial conformity with the plan. In such cases, no amendment to the plan is required.



DESIGN GUIDELINES

1.0 INTRODUCTION

The “North Roseville Specific Plan Design Guidelines” is a separate document adopted as an Appendix to the North Roseville Specific Plan. The intent is to describe the development requirements for the NRSP in one document, and enable modification of the design guidelines as needed without amending the Specific Plan.

The Guidelines provide detailed guidelines, performance criteria and standards to be considered by the city staff, Design Review Committee, Planning Commission, and City Council in the review of individual developments within the plan area.

The Guidelines address:

- Conditions that are unique to this plan area.
- Details that define the character of the Specific Plan, not found in the City-wide documents.
- Specific parcel considerations.
- Landscape and entry requirements.
- Buffers and adjacency issues.

The guidelines are intended to encourage creativity in solutions to specific design opportunities. However, in order to meet the overall objectives of the plan, certain standards must be fulfilled. Where the provisions of the NRSP Design Guidelines are more restrictive than the Community Design Guidelines and/or the Zoning Ordinance, the NRSP Design Guidelines shall govern development within the plan area.

Other standards and guidelines applicable to the North Roseville Specific plan area are set forth in the following documents, which should be referenced in the design of all uses in the plan area.

- Roseville Municipal Code-Title 19, Zoning Ordinance

The zoning ordinance provides development standards for each of the zone districts included in the Specific Plan.

- Community Design Guidelines

The Community Design Guidelines detail guidelines for the development of Commercial, Office and Multi-Family Residential uses, among others. These are applied throughout the City, including the North Roseville Specific Plan area.

1.1 Organization of the Design Guidelines

The NRSP Design Guidelines are organized in two categories: general conditions that apply throughout the plan area, and conditions that relate only to specific sites.

The general standards include:

- Landscaping along arterial and collector streets.
- Fences and walls.
- Street lighting.
- City and neighborhood entries.

Site-specific standards include:

- Parcel-specific design considerations.
- Neighborhood design.
- Eskaton Village.
- Commercial-use design guidelines not addressed in the Community Design Guidelines.

The site-specific conditions are organized in this document by neighborhood.

2.0 STREETScape ELEMENTS

Streetscape is the overall appearance along an arterial or collector street. In the NRSP the streetscape appearance is defined by a comprehensive, unified landscape plan. The landscape elements that comprise the streetscape in the NRSP include:

- Plant Materials
 - Primary Street Trees
 - Secondary Trees
 - Shrubs
 - Groundcover
 - Lawn
- Non-living Groundcovers
- Berms
- Irrigation
- Street Furnishings
- Street Lighting
- Walls and Fences
- Entries
- Signs

2.1 Streetscape Objectives

The general objectives for all streetscape conditions are:

- Provide identity for the neighborhoods and emphasize specific locations and features.
- Establish and reinforce the sense of pedestrian scale along areas intended for pedestrian use.
- Avoid landscaping that would create “hiding” places within the streetscape and open-space areas.
- Screen walls, fencing and utility equipment.
- Plant materials and planting configurations that are attractive and easy to maintain.
- Conserve water through use of drought-tolerant planting and water-conserving irrigation systems. Plant material, irrigation-system design, and landscape applications within the North Roseville Specific Plan area are to conform to the City of Roseville Water Conservation and Drought Mitigation Ordinance and the Water-Efficient Landscape Ordinance.

3.0 ARTERIAL AND COLLECTOR STREET LANDSCAPING

The streetscape in the NRSP will continue the landscape design concepts and elements, including similar plant materials and sidewalk configurations established in the existing specific plan areas adjacent to the NRSP.

The streetscapes will also reflect the importance of the creek and woodland corridors in the plan by opening to the creeks where the roads cross creeks, and incorporating native oaks in the landscape along streets.

Table A-1 provides the specific standards for landscaping along all arterial and collector streets within the plan area. The table includes the required landscape corridor width at specific locations, primary street trees, secondary street trees, median width and primary median tree for arterial and collector streets.

Specific situations in the NRSP warrant special landscape treatment. These special situations are addressed in Section 7.0, Special Conditions in Landscape Corridors.

Landscape corridors are to be constructed by the developer of the adjacent parcel. All landscape medians and landscape corridors adjacent to single-family residential uses are to be maintained by the Mello Roos Services District. All other landscape corridors are maintained by the adjacent property owner.

3.1 Typical Landscape Corridors

As noted in Table A-1, the landscape corridors along arterial and collector streets within the plan area will vary from 75 feet to 25 feet. The typical configuration will include lawn between the back of curb and the sidewalk, and low shrubs, mulch or other ground cover between the back of walk and the edge of the landscape corridor. A wall or fence will define the back edge of the corridor adjacent to low and medium

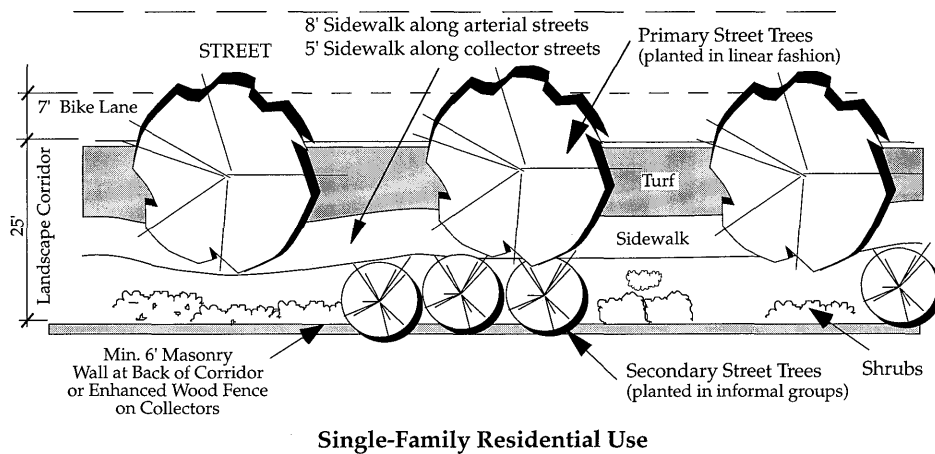
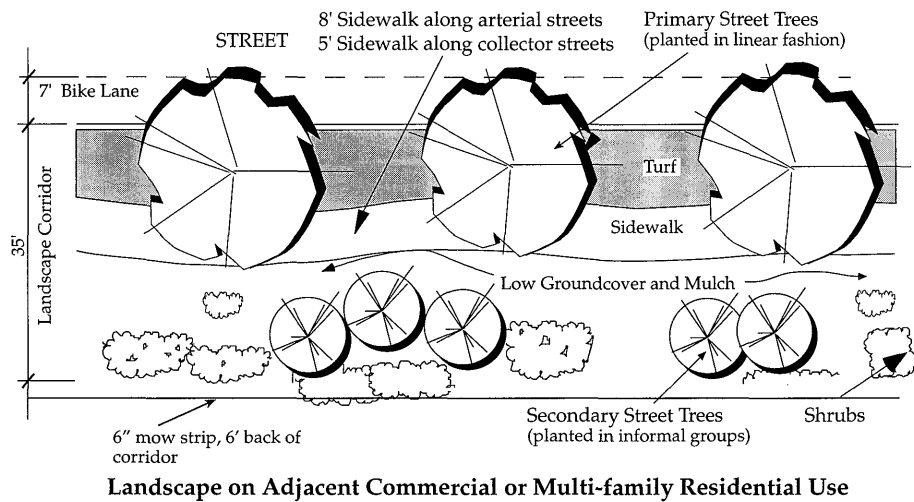
TABLE A-1
PRIMARY LANDSCAPE STANDARDS FOR ARTERIAL AND COLLECTOR STREETS

CORRIDOR	ROW	LANDSCAPE EASEMENT WIDTH (4)	PRIMARY STREET TREES (5)	SECONDARY TREE MIX (6)	MEDIAN WIDTH (7)	PRIMARY TREE IN MEDIAN
Blue Oaks Blvd. Adjacent to Neighborhood A & B (1)	180'	50' typical; 75' adjacent to Parcels M-5 and M-30	Platanus acerifolia ("Bloodgood" London Plane Tree)	80% evergreen and/or coniferous 20% deciduous	56' (8)	Mixed tree palette including Pinus Eldarica (Mondell Pine), Quercas wislizenii (Interior Live Oak), Platanus acerifolia ("Bloodgood" London Plane Tree) and others
Blue Oaks Blvd. Adjacent to Neighborhood C	100'	50' transitioning to Blue Oaks Park	Platanus acerifolia ("Bloodgood" London Plane Tree)	80% evergreen and/or coniferous 20% deciduous	14'	Tilia Cordata (Little Leaf Linden)
Diamond Creek Blvd. from Blue Oaks Blvd. to the park (2)	76'	69' west side adjacent to Parcel EV-1 35' east side adjacent to Parcel DC-31	Pyrus calleryana ("Bradford Pear")	80% evergreen and/or coniferous 20% deciduous	14'	Pyrus calleryana ("Bradford Pear")
Woodcreek Oaks Blvd.	76'	25' typical; 35' adjacent to Parcels DC-8 and M-31	Platanus acerifolia ("Bloodgood" London Plane Tree)	70% evergreen 30% deciduous	14'	Pyrus calleryana ("Bradford Pear")
Woodcreek Oaks Blvd. Adjacent to Existing Utility Easements (3)	76'	40' adjacent to Parcels M-1, M-2, M-3, M-4 and M-30	Platanus acerifolia ("Bloodgood" London Plane Tree)	70% evergreen 30% deciduous	14'	Pyrus calleryana ("Bradford Pear")
Pleasant Grove Blvd. Junction Boulevard	76'	25' typical; 35' adjacent to Parcels WW-15, WW-17, WW-40, WW-41 & WW-73	Platanus acerifolia ("Bloodgood" London Plane Tree)	70% evergreen 30% deciduous	14'	Tilia Cordata (Little Leaf Linden)
Fiddymet Road (9)	76'	35' to match Del Webb Specific Plan (see Section 9.3.4 adjacent to Neighborhood C)	Platanus acerifolia ("Bloodgood" London Plane Tree)	70% evergreen 30% deciduous	14' (Medians at entries only)	Pyrus calleryana ("Bradford Pear") or Tilia Cordata (Little Leaf Linden)
Baseline Road	76'	25' typical; 35' adjacent to Parcel WW-3, WW-71 & WW-73	Platanus acerifolia ("Bloodgood" London Plane Tree)	70% evergreen 30% deciduous	none	Pyrus calleryana ("Bradford Pear") or Tilia Cordata (Little Leaf Linden)
Typical Collector Street	48'	25' typical (10); 35' adjacent to non-residential uses	Pyrus calleryana ("Bradford Pear") or Ulmus Parvifolia (Evergreen Elm)	70% evergreen 30% deciduous	14' (Medians at entries only)	Select accent tree from Table A-2

NOTES:

- 1 Refer to Sections 9.1.9 and 9.2.1 for details on electric easements and drainageway along Blue Oaks Blvd.
 - 2 Refer to Section 9.1.1 for details on Diamond Creek Blvd.
 - 3 Refer to Section 9.2.2 for details on landscaping adjacent to powerline easement along Woodcreek Oaks Blvd.
 - 4 Width may be reduced for bus turnouts, turn and merge lanes, and similar variations in typical street sections, provided the reduced corridor width is not less than 20' at corners.
 - 5 See Section 3.4 for details on primary street trees (Where overhead powerlines exist, a restricted street-tree list will apply).
 - 6 See Section 3.5 for details on secondary street trees.
 - 7 See Section 3.2 for details on median widths.
 - 8 See Section 3.3 for description of Blue Oaks Boulevard median.
 - 9 See Section 9.3.3 and 9.3.4 for discussion of landscape corridor along Neighborhood C, and Section 9.5.3 along Neighborhood E.
 - 10 See Section 3.4 for exceptions within portions of Neighborhood C and D.
- Note: The road ROW will be widened adjacent to LDR & MDR parcels to incorporate the required landscape corridor.

FIGURE A-1
TYPICAL LANDSCAPE CORRIDOR



density residential. Where no wall is required, the landscape edge will be defined by a 6-inch wide concrete mow strip.

The primary street trees will be located in the lawn area between the curb and sidewalk. Secondary and accent trees will typically be located behind the sidewalk, but may be integrated with the primary street trees.

3.2 Typical Arterial Medians

Medians on arterial streets will be 14-foot wide with the exception of Blue Oaks Boulevard adjacent to Neighborhood A, which is 56-foot wide. The typical

median design will include a primary street tree located 30-feet on center, near the center line of the median. Accent trees may be used in combination with the primary tree to provide visual interest. Groundcover/shrubs that provide seasonal flowers or leaf-color variation will be used. The use of lawn within medians is prohibited.

3.2.1 Median Openings

The purpose of the median-opening restriction is to increase the potential for median tree-planting. In order to maximize the number of median trees between openings the design of left-turn pockets in medians

should incorporate the minimum stacking distance necessary to address traffic expectations. Median openings on Blue Oaks Boulevard shall be limited to signalized intersections at Diamond Creek Boulevard, Woodcreek Oaks Boulevard, and Collector N.

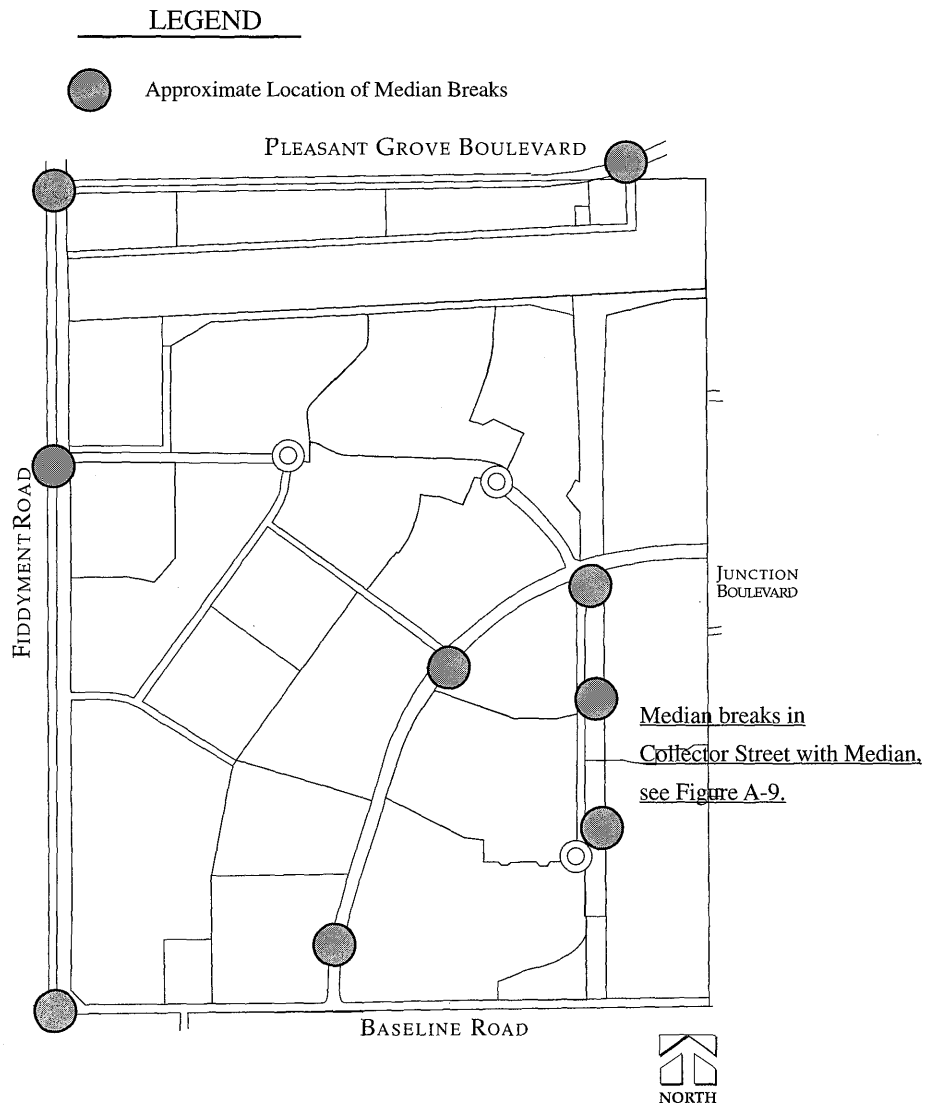
The minimum distance between median openings along Woodcreek Oaks Boulevard, Junction Boulevard and Pleasant Grove Boulevard shall be not less than 650-feet measured from the center line of one opening to the center line of the next opening. Parcels DC-8 and M-30, are exempt from this

restriction, and the spacing between openings adjacent to these parcels shall be established at the time of site review.

All median openings are subject to review and approval by the City in conformance with its improvement standards.

No turn pockets shall be permitted along Baseline Road except as required to provide access to Parcels WW-8, WW-51 (Freerun Park) and Parcel WW-71, the proposed school administration facility for the Dry Creek School District.

FIGURE A-2
APPROXIMATE LOCATION OF MEDIAN BREAKS ON PLEASANT GROVE BLVD., JUNCTION BLVD. AND FIDDYMENT ROAD



The approximate location of median openings along Junction Boulevard, Pleasant Grove Boulevard and Fiddymment Road is shown in Figure A-2.

3.3 Blue Oaks Boulevard Median

There are two distinct median conditions along Blue Oaks Boulevard. Blue Oaks Boulevard between Woodcreek Oaks Boulevard and the west edge of Neighborhood A is a special condition that requires a specific landscape design. The right-of-way for Blue Oaks Boulevard adjacent to Neighborhood A provides ample room for future travel lanes which will be located in the 56-foot wide center median. West of Neighborhood A, adjacent to Neighborhood C, the median tapers from 56 feet to 14-foot wide consistent with other arterial street medians throughout the plan area. A special approach to landscaping is required to provide adequate lines of sight for traffic safety, aesthetics, and to avoid the loss of mature trees when additional lanes are widened into the median. The following landscape features are planned in the median:

- Accent trees at median openings.
- No lawn in median.
- Median trees are to be planted in the center of the median, where no travel lane expansion will occur.
- Three primary median trees, London Plane, native oaks, and the Mondell Pine, to be planted in random groupings of about 5 to 8 trees.
- Colorful groundcover shall be included in future travel lanes.
- Low-profile shrubs shall be used between tree groupings.
- Large rocks (decorative boulders) shall be incorporated into ground cover areas.
- A very low, spreading groundcover will be used around and between the groups of trees and shrubs.

The typical median section and plan view is shown in Figure A-3. The typical Blue Oaks Boulevard median is shown in Figure A-4 and the typical cross section

adjacent to Neighborhood A and Neighborhood B is shown in Figure A-5. West of Neighborhood A, Blue Oaks Boulevard transitions to the cross section adopted in the Del Webb Specific Plan with a 100 foot right of way. The typical condition in this area is shown in Figure A-6.

3.4 Collector With Median

In selected locations in Mourier 160 (Neighborhood C), Woodcreek West (Neighborhood D) and Doctor's Ranch (Neighborhood E), the typical collector street will include a ten foot wide landscaped median. In these locations the typical landscaped corridor along the street will be reduced from 25 feet to 20 feet in order to maintain the standard street right of way, as shown in Figure A-9.

3.5 Traffic Circles

Landscaped traffic circles, such as illustrated in Figure A-10, will be located along Collector Streets J and K in three locations in Woodcreek West (Neighborhood D) and at the intersection of Diamond Creek Blvd and Collector B/C, as shown in Figure A-11. The traffic circles will be landscaped with trees and groundcover consistent with the median landscaping. An exception is the traffic circle located partially within the powerline corridor south of Junction Blvd. where the trees will be selected from species in Table A-4 to ensure that they do not exceed 15 feet in height at full growth.

3.6 Primary Street Trees

Primary trees are selected to provide:

- A broad shade canopy over the street.
- A sense of order and cadence along the street.
- Seasonal color accent.
- Scale and definition to the streetscape edge.

Primary street trees will be:

- The dominant element in the street scene.
- Deciduous, broadleaf species.
- Drought-tolerant when established.

FIGURE A-3
TYPICAL MEDIAN LANDSCAPE

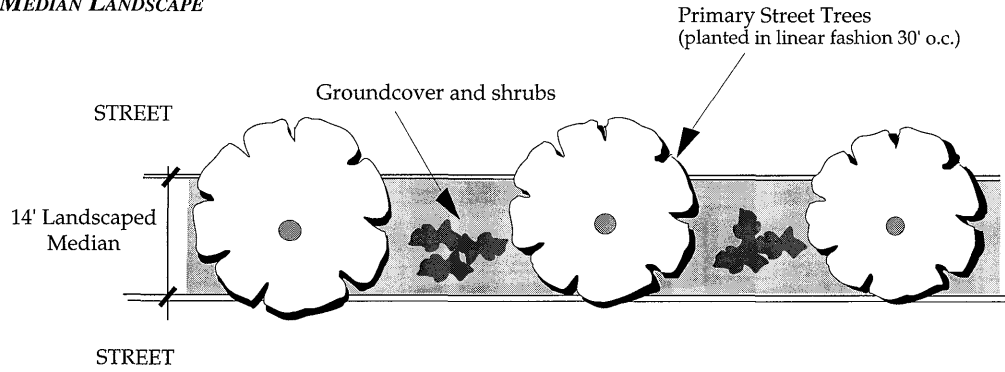


FIGURE A-4
LANDSCAPED MEDIAN ON BLUE OAKS BOULEVARD AT NEIGHBORHOOD A & B

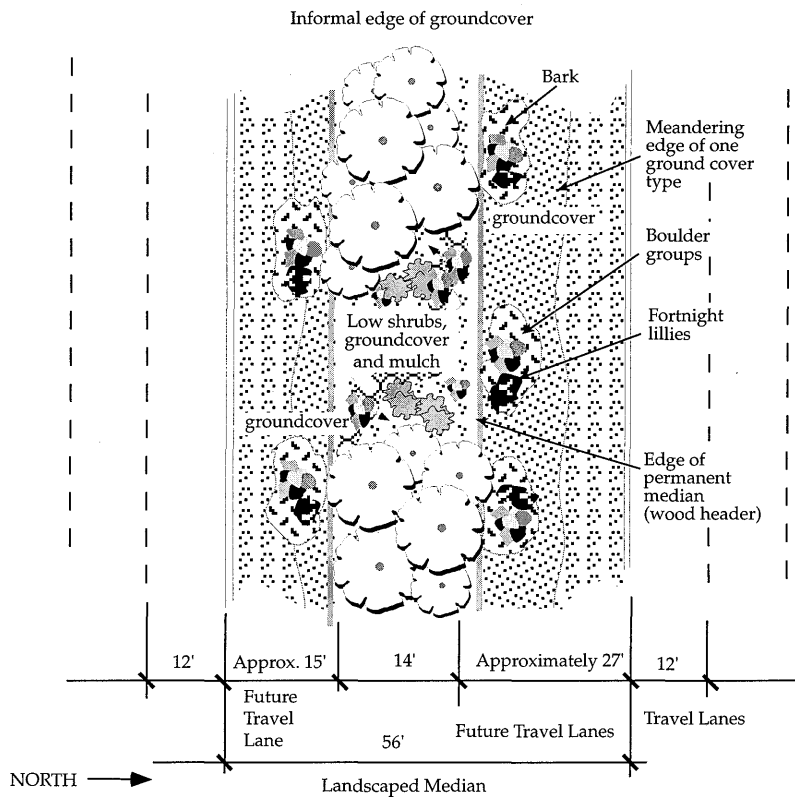
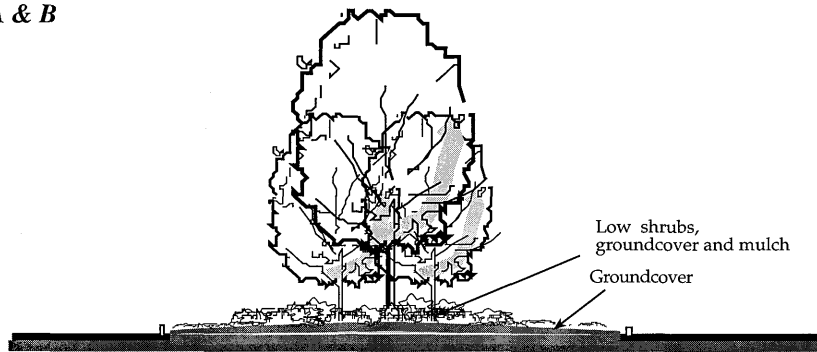


FIGURE A-5
BLUE OAKS BOULEVARD AT NEIGHBORHOOD A & B

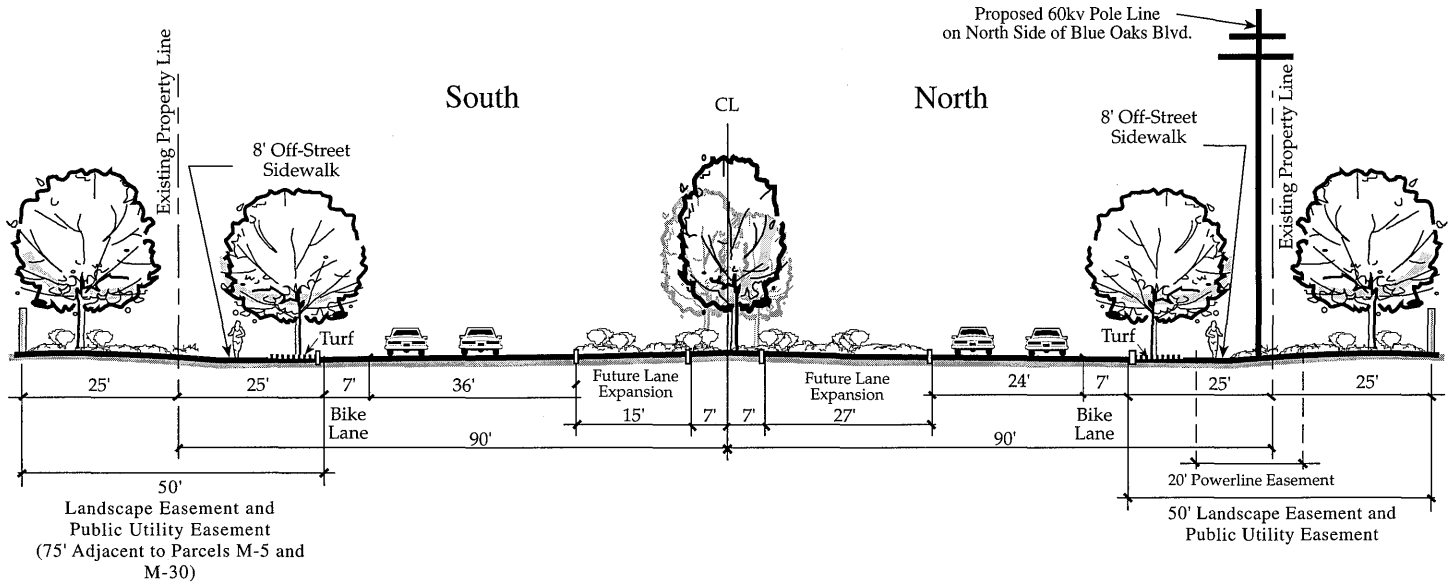


FIGURE A-6
BLUE OAKS BOULEVARD AT NEIGHBORHOOD C

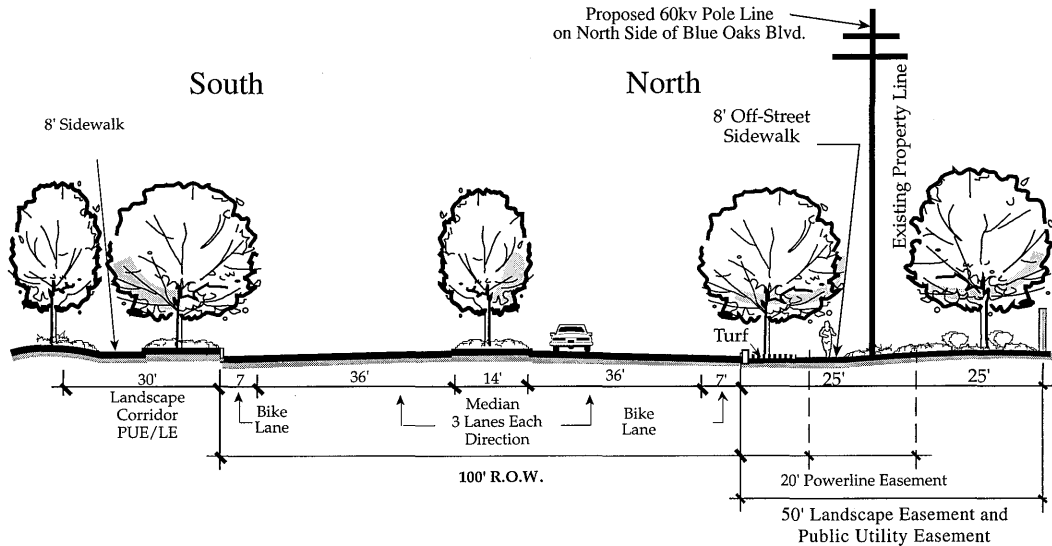


FIGURE A-7
TYPICAL FOUR-LANE ARTERIAL STREET

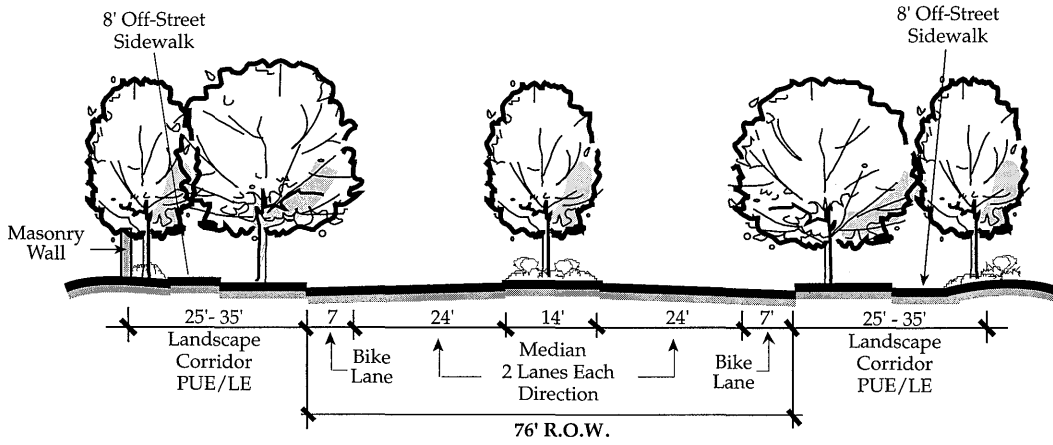


FIGURE A-8
TYPICAL TWO-LANE COLLECTOR STREET

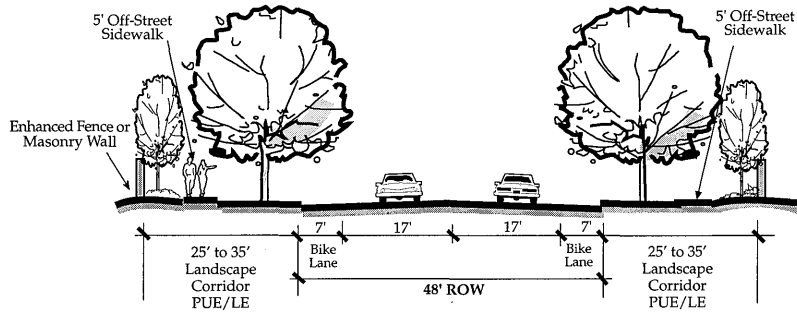


FIGURE A-9
TWO-LANE COLLECTOR STREET WITH MEDIAN

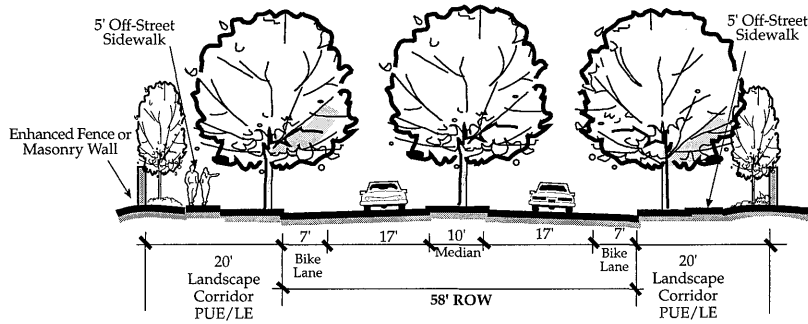
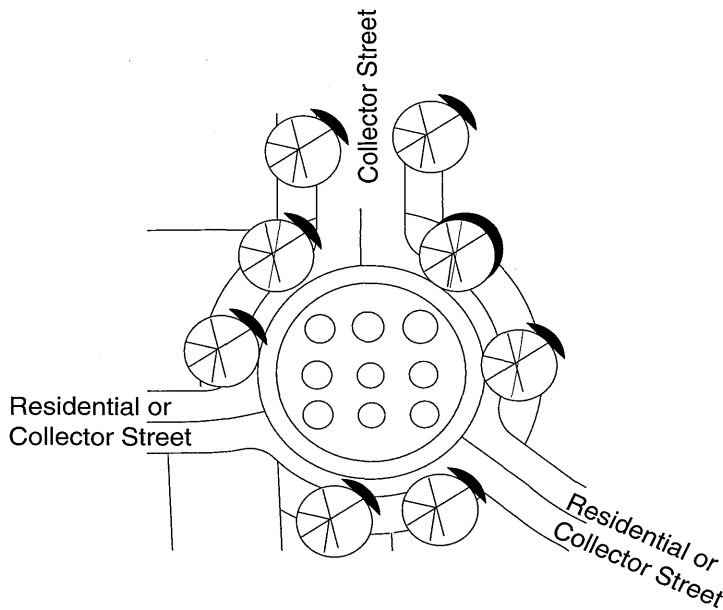


FIGURE A-10
LANDSCAPED TRAFFIC CIRCLE ON
COLLECTOR STREET



- Spaced 30-feet on center.
- Planted from a minimum 15-gallon container.
- Planted in a regular linear fashion, set back from the curb far enough to accommodate their ultimate growth (a minimum of 5-feet).

The primary tree species selected for each major street is listed in Table A-1, and the location is illustrated in Figure A-11.

3.7 Secondary and Accent Trees

Secondary street trees shall be used to add contrast and background to the linear plantings of primary street trees. Secondary trees that provide color and form accents should be used at neighborhood entries and to create points of interest along the street corridor.

Secondary and accent trees will be:

- Planted in informal fashion as determined by space and tree species.
- Distinctive in form and/or color.

- Complementary to the form of the dominant street trees.
- Planted from a minimum 15-gallon container.
- Spaced an average of 30-feet to 40-feet apart.

Secondary street trees may be selected from Table A-2, the Secondary Street Trees List. The mix of secondary trees among evergreen, coniferous and deciduous trees is specified in Table A-1. Other species may be used subject to approval by the City.

Use of native oak trees is encouraged to supplement the secondary street trees and provide a visual connection to the landscape corridors along major streets in the adjacent areas of the city. However, the use of oak trees with the secondary street trees must be carefully designed to ensure the appropriate irrigation regimen. Native oaks do not tolerate the irrigation typical of the lawn areas planned around the primary street trees. Oaks should be segregated from the other street trees so that they can be irrigated appropriately.

The recommended species of native oak are:

<i>Quercus douglasii</i>	Blue Oak
<i>Quercus lobata</i>	Valley Oak
<i>Quercus wislizenii</i>	Interior Live Oak

3.8 Shrubs

Shrubs and foliage-type groundcovers provide a visual barrier to fences, walls and utility equipment, soften the ground plane and visually link landscape materials.

Shrubs will be:

- Planted in irregular masses or in a linear fashion.
- Planted from a minimum 1-gallon container.
- Selected according to size, color, texture, and seasonal interest.
- Placed to not obstruct important pedestrian or vehicular sight lines or threaten the safety of pedestrians.

FIGURE A-11
LOCATION OF PRIMARY STREET TREES

- ● ● Platanus acerifolia
Bloodgood
London Plane Tree
- ● ● Pyrus calleryana
Bradford Pear
- ● ● Ulmus Parvifolia
Evergreen Elm
- ○ ○ Species to be determined by
the City
- ⊙ Traffic Circle

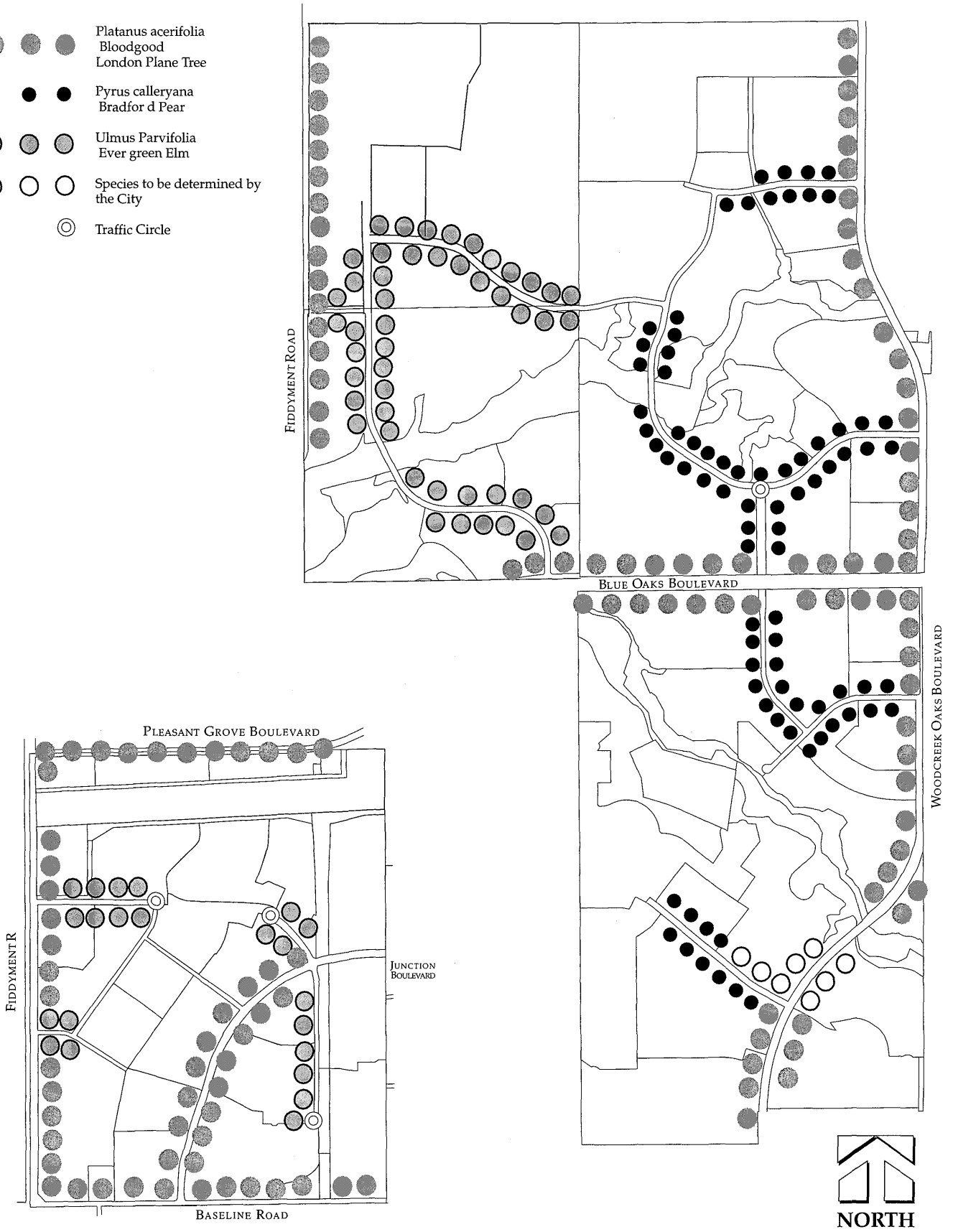


TABLE A-2
RECOMMENDED SECONDARY STREET TREES

<u>Evergreen Trees</u>	
<i>Cedrus deodora</i>	Deodar Cedar
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Pinus halepensis</i>	Aleppo Pine
<i>Pinus Eldarica</i>	Mondel Pine
<i>Sequoia sempervirens</i>	Coast Redwood
<i>Ulmus Parvifolia</i>	Evergreen Elm
<i>Quercus Virginiana</i>	Southern Live Oak
<u>Deciduous Trees</u>	
<i>Arbutus Unedo</i>	Strawberry Tree
<i>Acer Rubrum</i>	Red Maple
<i>Celtis sinensis</i>	Chinese Hackberry
<i>Fraxinus Oxycarpa 'Raywoodi'</i>	Raywood Ash
<i>Ginkgo biloba</i>	Maidenhair Tree
<i>Liriodendron tulipifera</i>	Tulip Tree
<i>Liquidambar Styraciflua</i>	American Sweetgum
<i>Nyssa sylvatica</i>	Tupelo
<i>Pistacia chinensi</i>	Chinese Pistache
<i>Sapium sebiferum</i>	Chinese Tallow
<i>Quercus Rubra</i>	Red Oak
<i>Robinia Psuedocacia</i>	Locust
<i>Tilia Cordata</i>	Little Leaf Linden
<u>Accent Trees</u>	
<i>Eriobotrya deflexa</i>	Bronze Loquat
<i>Cercis Canadensis</i>	Eastern Redbud
<i>Lagerstroemia indica</i>	Crepe Myrtle
<i>Malus floribunda</i>	Flowering Crabapple
<i>Pyrus calleryana 'aristocrat'</i>	Aristocrat Pear
<i>Pyrus calleryana 'bradford'</i>	Bradford Pear
<i>Rhus lancea</i>	African Sumac
<i>Magnolia Solangiana</i>	Saucer Magnolia

TABLE A-3
RECOMMENDED SHRUBS AND GROUND COVER

<u>Shrubs</u>	
<i>Agapanthus Africanus</i>	Lilly of the Nile
<i>Buxus Microphylla 'japonica'</i>	Japanese Boxwood
<i>Berberis Thunbergiana</i>	Japanese Barberry
<i>Cistus Hybridus</i>	Rockrose
<i>Callistemon Citrinus</i>	Lemon Bottlebrush
<i>Diates Bicolor</i>	Fortnight Lily
<i>Diosma Pulchrum</i>	Pink Breath of Heaven
<i>Escallonia Fradesi</i>	Escallonia
<i>Escallonia Dwarf 'terri'</i>	Dwarf Escallonia
<i>Euryops Viridus</i>	Green Leaf Euryops
<i>Hemerocallis Spp.</i>	Daylily
<i>Mahonia Aquifolium</i>	Oregon Grape
<i>Nandina Domestica 'compacta'</i>	Heavenly Bamboo
<i>Photinia Fraseri</i>	Red Leaf Photinia
<i>Rhamnus Californica</i>	Coffeeberry
<i>Raphiolepis Indica</i>	Indian Hawthorne
<i>Viburnum Tinus</i>	Laurustinus
<i>Xylosma Congestum</i>	Shiny Xylosma
<u>Groundcover</u>	
<i>Arctostaphylos 'Emerald Carpet'</i>	Emerald Carpet Manzanita
<i>Baccharis pilularis</i>	Dwarf Coyote Brush
<i>Coprosma Pumila 'prostrata'</i>	Prostrate Coprosma
<i>Euonymus Fortuniei 'Colorata'</i>	Purple Leaf Wintercreeper
<i>Juniperus conferta</i>	Shore Juniper
<i>Myoporum Parvifollum 'prostrata'</i>	Creeping Myoporum
<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Vinca minor</i>	Dwarf Periwinkle
<u>Vines</u>	
<i>Distictis Buccinatorius</i>	Blood Red Trumpet Vine
<i>Ficus Pumila 'repens'</i>	Creeping Fig
<i>Parthenosis Tricuspidata 'veitchii'</i>	Boston Ivy
<i>Macfadyera Unguis Cati</i>	Catclaw Trumpet Vine

TABLE A-4
SECONDARY STREET TREES
GROUP TWO

<i>Arbutus unedo</i>	Strawberry Tree
<i>Cercis canadensis</i>	Eastern Redbud
<i>Cercis occidentalis</i>	Western Redbud (std)
<i>Erlobotrya deflexa</i>	Bronze Loquat
<i>Lagerstroemia Indica</i>	Crape Myrtle
<i>Malus floribunda</i>	Flowering Crabapple
<i>Magnolia soulangiana</i>	Saucer Magnolia
<i>Maytenus boaria</i>	Mayten Tree
<i>Prunus blirelana</i>	Flowering Plum
<i>Prunus cerasifera</i>	Purple-Leaf Plum
<i>Rhus lancea</i>	African Sumac

The list of recommended shrubs for this plan area is included in Table A-3. Other species may be used subject to the approval of the City.

3.9 Lawn and Groundcover

Groundcover selection should take into consideration the overall pedestrian use of the area. If the area is intended for active pedestrian use, such as in the parks and pedestrian corridors, then lawn-type groundcovers should be used. In areas that will not receive active pedestrian use, such as along major streets, both lawn and foliage type groundcovers may be used. Lawn provides a strong visual element that lends vibrancy to the formal landscape program proposed within the plan area, and also visually assists in linking landscape corridors.

Groundcovers may also include mulch, flower beds or naturalized groundcover, including native grasses and shrubs. Naturalized groundcover that includes a mix of native and native-compatible species in informal planting configurations is particularly suitable where a landscape corridor is adjacent to open-space areas.

- Lawn is the preferred groundcover in greenway strips between sidewalk and curb

on arterial and collector streets and may also be emphasized in other portions of required landscaped corridors.

- Groundcover other than lawn is preferred behind the back of walk.
- Where lawn areas are hydroseeded, strict weed-abatement measures are to be specified.
- Lawn and groundcover areas shall be defined with concrete mow strips.
- Lawn may be installed in areas with slopes of 3:1 or less. Groundcover is to be installed on any steeper slope areas.
- Drought-tolerant groundcover species, including lawn that requires low water usage, such as fescue varieties, are encouraged.
- No lawn is to be planted in medians.

The list of recommended groundcover for this plan area is included in Table A-3. Other species may be used subject to the approval of the City.

3.10 Non-Living Groundcover

A variety of non-living groundcovers are encouraged as accents to reduce maintenance and irrigation. These may include bark, cobble and larger stones.

- Mulch shall be sized for fire resistance subject to approval by the Fire Department. Mulch shall be layered 2-inches over finish grade in shrub and groundcover areas.
- Native or native-type boulders, 2 to 5 feet in diameter or larger, may be placed within landscape corridors as accent elements.

3.11 Earth Berms, Mounds and Slopes

Earth berms and mounds are permitted within landscape corridors.

- Earth berm and mound slopes should not exceed 3:1, and should be configured to direct drainage towards the drainage-collection system.
- A minimum 2-foot wide level bench is required at the back of sidewalk.
- A minimum 1-foot wide level bench is required at the back of curb.

3.12 Sidewalks

Concrete sidewalks are located within landscape corridors along arterial and collector streets.

- Unless otherwise noted, sidewalks are to be 8-feet wide on arterials, 5-feet wide on collectors and 4-feet wide on residential streets.
- Except where the sidewalk approaches an intersection or bridge crossing, or a street light standard, meandering sidewalks shall be located not less than 6 -feet nor more than 9-feet to the back of curb in 25-foot wide landscape corridors, and not less than 8-feet nor more than 19-feet to the back of curb in 35-foot wide or larger landscape corridors, measured from the back of curb to the front edge of the sidewalk.
- Change-of-alignment sidewalk geometry is generally used to approach street intersections, bridge crossings and street light locations.
- Sidewalks are to be 4-feet wide immediately behind the curb on residential streets.
- Curb cuts shall be provided at intersections to comply with ADA and City standards.

3.13 Irrigation

Landscape irrigation shall conform to the City of Roseville Water-Efficient Landscape Requirements. All landscape/irrigation plans subject to approval of the City.

4.0 STREET FURNISHINGS

Street furnishings (including benches, trash receptacles, bollards, planters, bus shelters, and other similar amenities) are permitted within landscape corridors provided placement does not interfere with clear-vision standards for street intersections, or pedestrian movement along the sidewalk.

- The design of street furnishings should match or complement the design of surrounding elements including other furnishings, walls and fences, and building architecture.
- Street furnishings are to be low-maintenance.
- Metal components of street furnishings shall not be exposed such that they become harmful in high temperatures.

- Lighted features including but not limited to lighted bollards, lighted shelters, back-lighted planters, and accent-lighted wall surfaces and signs, are permitted provided light sources are low-level and screened from adjacent streets, walkways and homes.

5.0 STREET LIGHTING

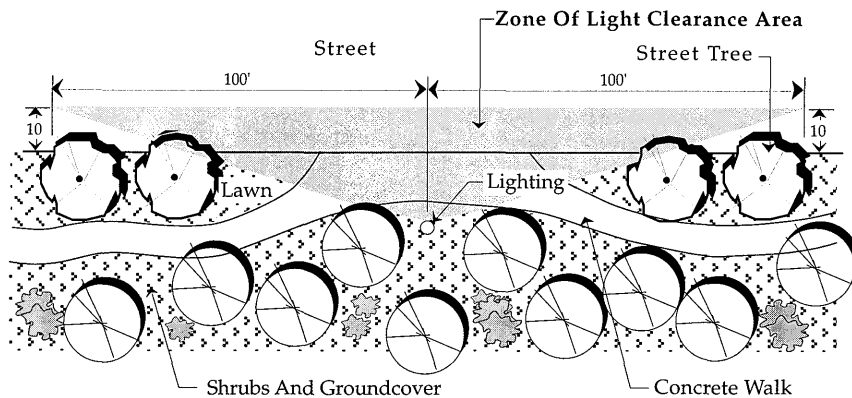
Street-lighting design is established by the Electric Utility Director. The standards include specifications for fixtures and poles, as well as requirements for non-obstruction of the pathway of light. In general, street lighting will occur at intersections and at intervals on opposite sides of the street, as required by the City standards. Fiddymont Road and Baseline Road are special conditions because they abut unincorporated land on one side. The typical spacing interval between lights will be reduced because the lights will be placed only on the City side of the street.

- Light standards shall be typically spaced as established by the Electric Utility Director.
- Planting shall be restricted within the zone of light for street lights in conformance with the standards of the Electric Department, as shown in Figure A-12:
 - a. "Zone of light" is defined as a triangular area with two points located at 100' from both sides of a lighting fixture (not the light post) and 10-feet out from the top back of curb and one point at the lighting fixture (Figure A-12).
 - b. No shrubs that grow to a height greater than 4-feet at maturity are to be planted within the zone of light.
 - c. Trees planted outside the clear area should have not more than 20% of their canopy encroach within the zone of light, based on the expected size of the trees at maturity.

6.0 WALLS AND FENCES

Walls and fences will be used to screen public facilities, provide sound barriers, privacy, and security for private property, and bar entry to environmentally sensitive areas. The location of each type of required wall or fence is shown in Figure A-13.

FIGURE A-12
ZONE OF LIGHT ALONG MAJOR STREETS



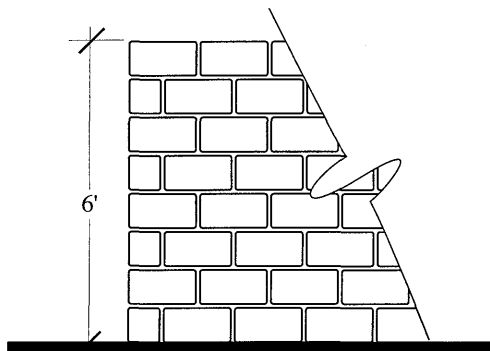
6.1 Masonry Walls

Two types of masonry walls will be used in the plan area. Simple masonry walls will be used between dissimilar land uses to provide security and privacy. Enhanced masonry walls are typically located at the back of landscape corridors along arterial streets adjacent to low density residential and medium density residential parcels.

Masonry Walls

Masonry walls shall be used as barriers and screens between land uses. This type of wall shall be used in locations that are less visible from public streets. Figure A-13 identifies appropriate locations for this less-decorative wall. A masonry wall section is illustrated in Figure A-14.

FIGURE A-14
MASONRY WALL



Enhanced Masonry Walls

The intent is to have the landscape become the dominant element in the corridor, rather than the wall. Therefore, the enhanced masonry wall should be a simple design, of quality materials, that will eventually be a background element screened by the landscape materials. The appropriate designs will include a simple, attractive surface pattern, detailing to articulate the wall cap, and columns or pilasters to mark the wall ends and changes in direction. Columns or pilasters may








be embellished with textures, complementing materials, articulation details (such as shadow lines). In addition, signature or logo elements that are cast or otherwise incorporated in the column or pilaster face may be included at end pilaster at road entries into projects. An enhanced masonry wall section is illustrated in Figure A-15. A sample of an enhanced column or pilaster detail is shown in Figure A-15a.

The location of enhanced masonry walls is shown in Figure A-13.

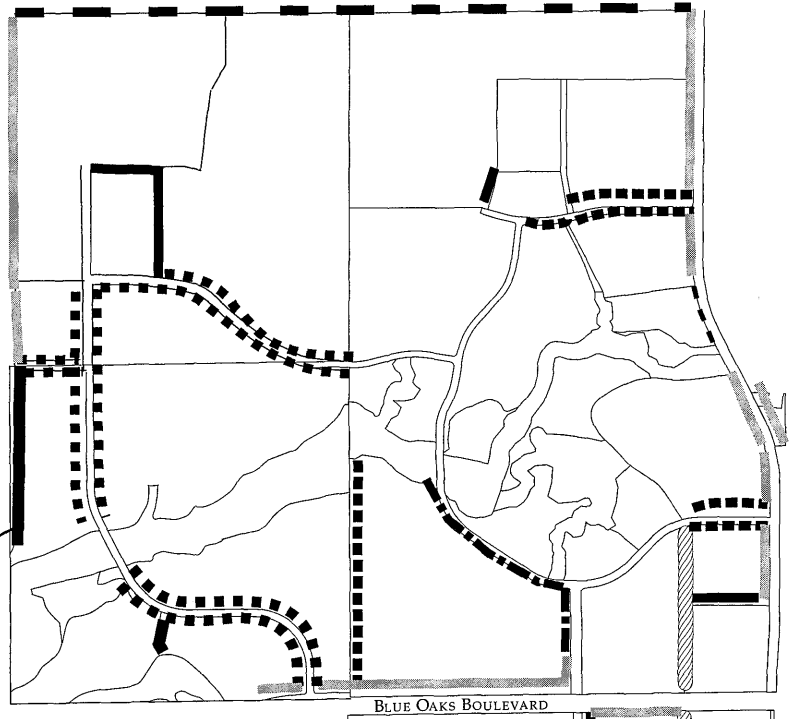
- Masonry walls along the public streets should be placed to avoid blocking views to the open space corridors, or fragmenting land uses within a neighborhood, and to not obstruct underground or above-ground electric, telephone, cable, water or sewer services or equipment.
- Minimum masonry-wall height along arterial streets (Blue Oaks Boulevard, Woodcreek Oaks Blvd., Junction Boulevard, Pleasant Grove Boulevard, and Fiddymont Road) shall be 6-feet. Higher walls may be required, based on site-specific noise analyses. Higher wall heights may be achieved by either increasing the height of the masonry structure, or placing the structure on a berm.
- Masonry walls will be constructed of either prefabricated concrete panels or site-built, hand-laid masonry blocks.
- Wall materials shall have a textured face such as cast patterns, split-faced, comb-faced or stucco-finished. Variations in wall designs

FIGURE A-13
LOCATION OF WALLS AND FENCES

LEGEND

-  Masonry Wall Between Non-Residential and Residential Use (See Figure A-14)
-  Enhanced Masonry Wall Along Arterials (See Figure A-15)
-  Enhanced Wood Fence (See Figure A-16)
-  Solid Wood Fence (See Figure A-17)
-  Enhanced Wood or Open Type Fence (See Figures A-16 and A-18)
-  Open Type Fencing (See Section 6.4)
-  Equestrian Fencing (See Figure A-20)

Solid Wood Fence required if Fiddymment Road is realigned, enhanced masonry wall required if Fiddymment Road is not realigned.



Open Fence unless otherwise required by wetland permitting authority.

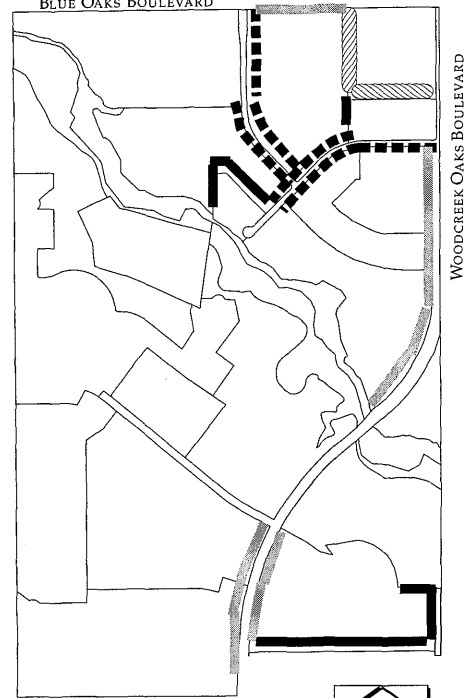
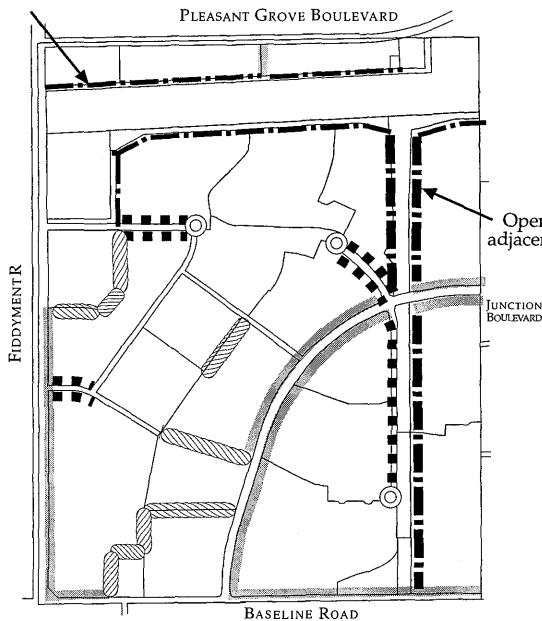
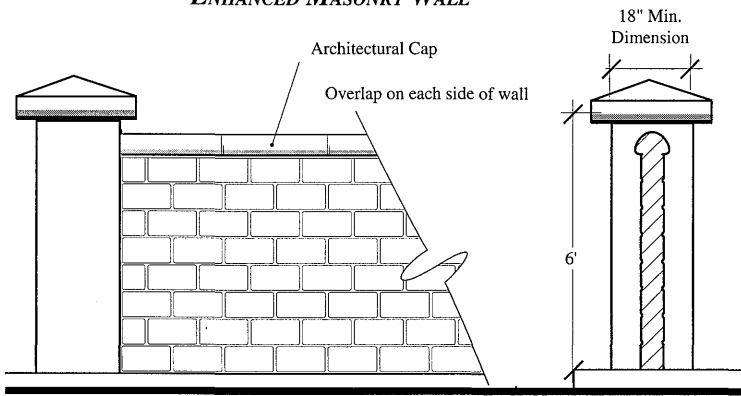


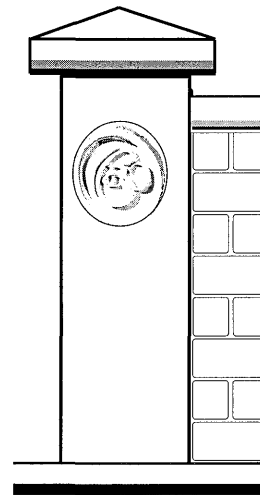
FIGURE A-15
ENHANCED MASONRY WALL



within the plan area are acceptable at the following notable break points only: creek crossings, arterial intersections, and major changes in land use. Notwithstanding this, continuity in theme and materials shall be incorporated where variations occur.

- Masonry walls shall have a masonry or architectural cap made of complementary masonry or precast concrete. The cap shall extend over the wall to create a reveal detail and shadow line along the top of the masonry.
- Pilasters or columns in masonry walls shall be used at each side of neighborhood vehicular entrances and pedestrian walkway entrances to define openings, and at each angle point (change in direction) to enhance wall aesthetics.
- Pilasters and columns shall be constructed of materials complementary to the masonry wall. Acceptable materials include masonry block, brick, stone, cobble and stucco finish and may include embellishments such as logos or abstract designs incorporated in the column or pilaster design as shown in the example in Figure 15A. Such embellishments shall not exceed 18 inches in any dimension and must show at least two inches of the column around all edges of the embellishment. Embellishments shall be constructed of materials and colors compatible with the design of the column or pilaster and shall be clearly an integral element in the column design. Embellishments may only be located on the end column or pilaster on both sides of road entries.
- Pilasters and columns shall have sufficient bulk and dimensions to appear in proportion to the height and mass of the masonry wall.

FIGURE A-15A
CONCEPTUAL WALL DETAIL



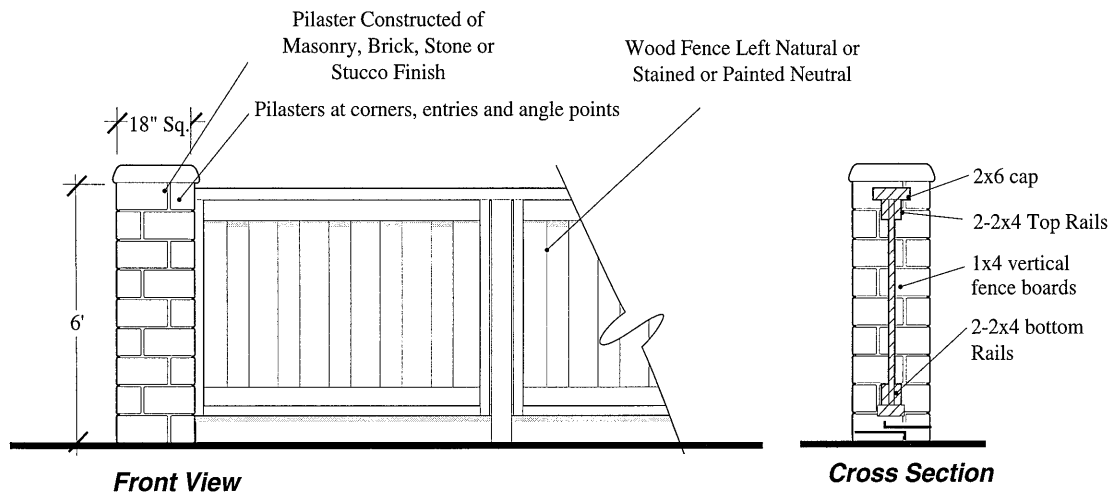
Pilasters and columns shall not be less than 18-inches in any dimension at the base, and may be circular or square.

6.2 Enhanced Wood Fences

Enhanced wood fences shall be constructed where lots back or side to a residential collector street, as shown in Figure A-13. A typical enhanced-wood fence section is shown in Figure A-16.

- Minimum solid-wood fence height along all residential collectors within neighborhoods is 6-feet. Enhanced wood fences may be placed on a berm not more than 24" above the elevation at the back of the adjacent sidewalk.
- Fence sections will be 8 to 10-feet in length supported by 4-by-4 posts.
- Pilasters or columns shall be used in enhanced wood fences at each side of neighborhood vehicular entrances and pedestrian walkway entrances to visually define openings, and at each angle point (change in direction) to enhance wall aesthetics.
- Pilasters and columns shall be constructed of materials complementary to the wood fence. Acceptable materials include masonry block, brick, stone, cobble and stucco finish. The pilaster material and design shall be consistently applied throughout individual subdivisions.
- Enhanced wood fences are to be of redwood construction, and if painted or stained, should be an earth tone color.

FIGURE A-16
ENHANCED WOOD FENCE



6.3 Solid Wood Fences Adjacent to Open Space and Parks

Solid wood fences shall be constructed adjacent to parks. Open fencing is to be used adjacent to open space along Pleasant Grove Creek (W-1, W-3, W-4) except that a solid wood fence may be used where an adequate fire protection buffer area is provided. Open type fencing or enhanced wood fencing will be used along the powerline corridor (WW-4, WW-6, WW-7, WW-8, WW-9). A typical solid wood fence is shown in Figure A-17.

- Minimum solid-wood fence height adjacent to parks and open space is 6-feet.
- Fence sections will be 8 to 10-feet in length supported by a 4-by-4 post.
- Solid wood fences are to be of redwood or cedar construction, and if painted or stained, should be a earth tone color.

6.4 Open Fences

Open fences may be used adjacent to the open-space areas along the rear and side property line of residential parcels. Open fences may also be used along a street adjacent to open space. Open fencing may be used to define pedestrian pathways along the edges of open-space parcels, to separate different functions within

landscape corridors (for example, to restrict access of dirt bikes and motorized vehicles) and at other miscellaneous locations within the plan area. Typical open-fence sections (wrought-iron and mesh) are shown in Figures A-18 and A-19.

- Open fencing will be 4 to 6-feet in height constructed of tubular steel, mesh or wrought iron.
- Mesh fencing shall be black vinyl-coated, with painted black posts and top rail.
- Brick or other masonry pilasters or columns may be used as an optional detail with open style fences.
- An open fence or wooden posts with a cable strand connecting them may be used along the street edge adjacent to open space to restrict access of dirt bikes and motorized vehicles.

The perimeter fence along Parcels DC-9a and 9b adjacent to public streets may be an equestrian fence such as the three-rail style illustrated in Figure A-20. Alternative open styles such as a crossed pattern may be used. The lower portion of the fence may include a mesh that matches the material and color of the basic fence.

Other fencing appropriate to an equestrian facility may be used internal to DC-9a and DC-9b.

FIGURE A-17
SOLID WOOD FENCE

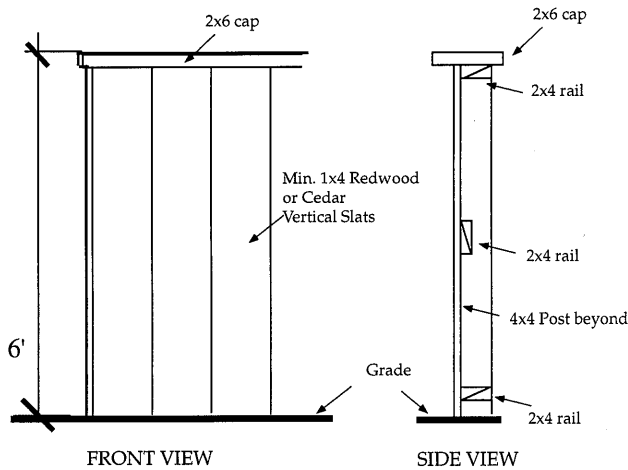


FIGURE A-18
WROUGHT-IRON FENCE

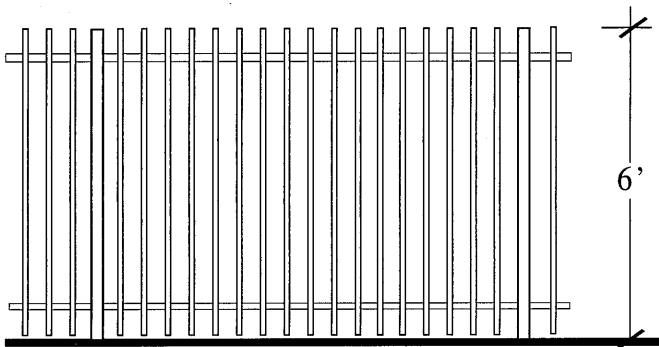


FIGURE A-19
BLACK VINYL-COATED MESH FENCE

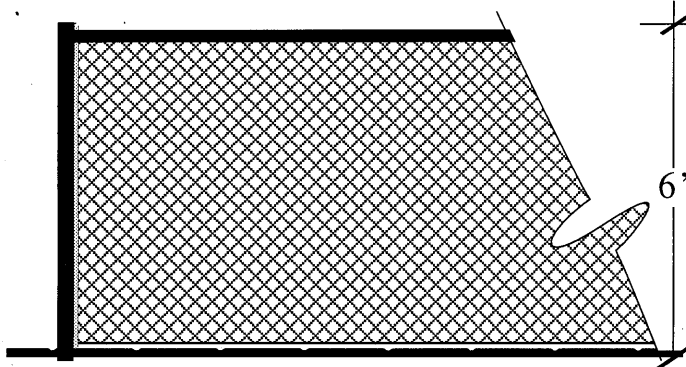
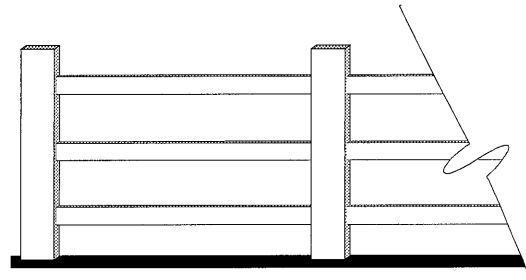


FIGURE A-20
TYPICAL EQUESTRIAN FENCE



6.5 Bollards

Bollards may be placed to control vehicular traffic and pedestrian flow.

- Bollards may be constructed of solid wood or metal, or be precast out of natural or integral-color concrete.
- Bollards in pedestrian/bike paths leading to the school, park, or open-space sites shall conform to City standards. These bollards shall be removable steel post or approved replacement.
- Lighted bollards should be similar in material and form to unlighted bollards, but may also be metal with baked-on enamel finish. Lighted bollards should be selected for both resistance to vandalism and lighting characteristics.

7.0 SPECIAL CONDITIONS IN LANDSCAPE CORRIDORS

7.1 City Entry Feature

The entrances to the city along the northern end of Woodcreek Oaks Blvd. (DC-1) and Fiddymment Road (DR-4) will be marked by city entry features. The city entry features consist of enhanced adjacent corridor landscaping and signage identifying these locations as entries to the City of Roseville.

- The city entry features include a widened 50-foot landscape corridor along Woodcreek Oaks Blvd and Fiddymment Road, running a minimum of 75-feet from the city/county line and then transitioning to the standard 25-foot corridor, as shown in Figure 21.
- The city boundary markers are to include deciduous foreground trees selected for flowering or fall color-habit, accent shrubs, groundcovers and entry signs. The use of roses

as a key element in the design is encouraged. Decorative paving shall be used to provide a plaza area adjacent to the sidewalk.

- The city entry features are to be installed by the adjacent parcel developer at the time landscape-corridor improvements are constructed.
- Entry features along both Fiddymment & Woodcreek should be coordinated and similar in design, materials signage and plantings.

The entry feature on the north side of Baseline Road at Fiddymment Road (Figure A-22A) shall consist of the corner setback created by the adjacent residential lots. The setback area is 75 feet in length with a maximum depth of 80 feet from the back of curb to the face of the wall at the back of the landscaped entry feature.

The entry feature on the southeast corner of the Pleasant Grove Boulevard and Fiddymment Road intersection shall match the city entry on the north side of the intersection in the Del Webb Specific Plan.

This includes a paved plaza, rose plantings and entry feature as shown in Figure 22B.

7.2 Neighborhood Entries

Neighborhood entrances in the North Roseville Specific Plan area are to shall be provided at locations shown in Figure A-23. All neighborhood entries shall have "corner clips" and medians as shown in Figures A-24 and A-25. This concept may also be used for entries into subdivisions.

Affected Parcels: DC-1, DC-5, DC-6, DC-7, DC-31, EV-1, M-1, M-2, M-5, WN-3, WN-5, W-2, W-4, W-5, WW-2, WW-3, WW-7, WW-9, WW-12, WW-13, WW-14, WW-16, DR-1, DR-4

Neighborhood entrances are enlarged landscape areas added to the landscape corridors at highly visible street intersection locations. They are intended to provide a distinct gateway and sense of arrival to each neighborhood and a common design element that visually distinguishes the plan area.

- The neighborhood entry includes the landscape corridor plus an additional triangular landscape setback area. The neighborhood entry shall provide a 35-foot offset, as shown in Figure 24. This will create a 50-foot wide plane oriented toward the intersection that may be used for project signage. In RS zoned parcels the neighborhood entry may be reduced to a 17-foot offset with a 25 foot wide wall plane oriented to the street.
- Landscaping in the neighborhood entry may include accent trees, colorful annual plants, signage and other special landscape elements such as enhanced paving and seating areas.
- Accent trees shall be planted from a minimum 15-gallon size.
- Neighborhood entries will include median entry islands with landscaping consistent with the adjacent entry feature.
- Neighborhood entries are to be constructed by the developer of the adjacent parcel in which they are located.
- Where fencing is provided at the rear of corner clips, the fencing is to be a masonry wall (with pilasters or columns) to match or accent the adjacent masonry wall.

FIGURE A-21
TYPICAL CITY ENTRY

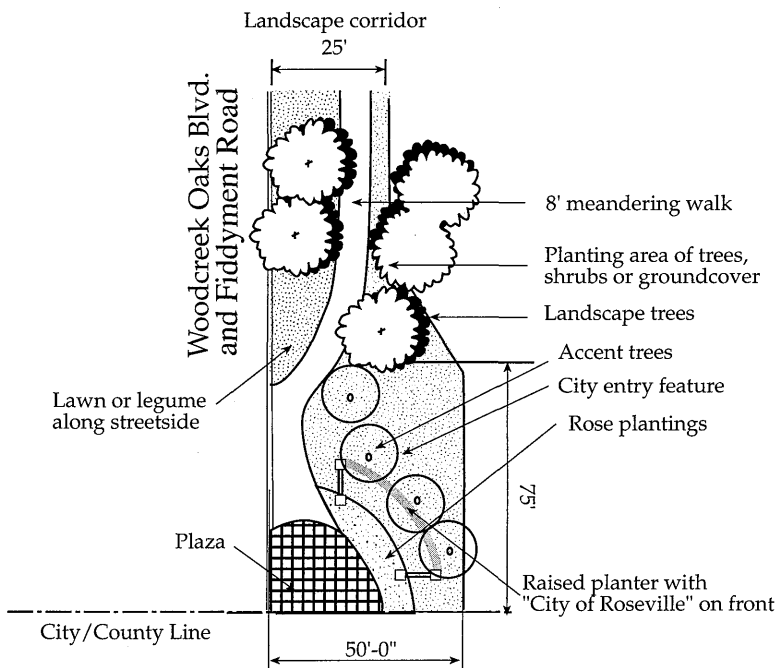


FIGURE A-22A
CITY ENTRY AT BASELINE ROAD

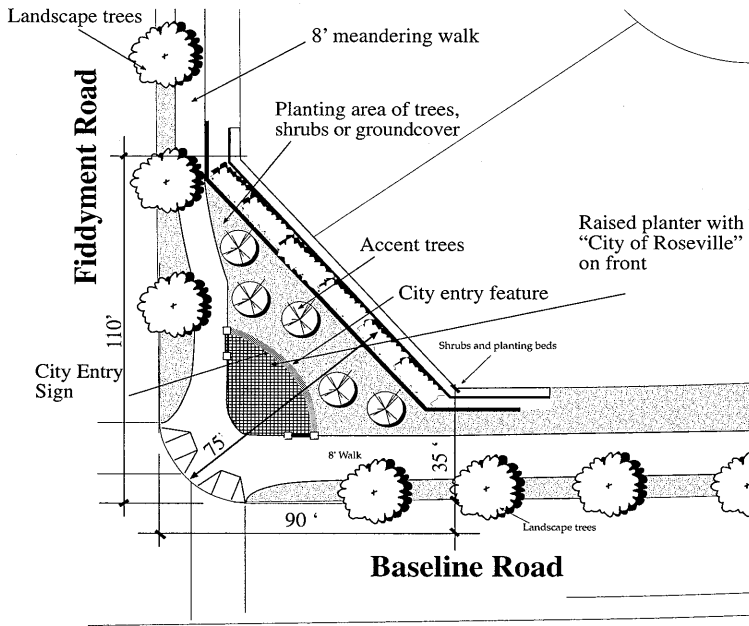
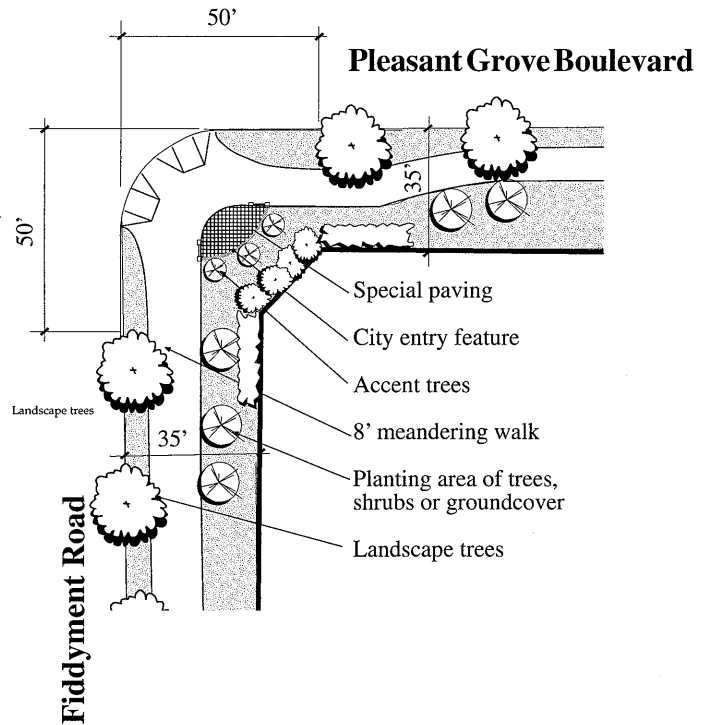


FIGURE A-22B
CITY ENTRY AT PLEASANT GROVE BOULEVARD



- Improvements within corner-clip areas are to be placed to allow adequate vehicular lines of sight at intersections.

7.3 Signs

Two kinds of permanent, project identification signs are expressly permitted within the plan area: neighborhood entrance signs, and project entrance signs. Generally, these signs are located behind the landscape corridors, or within appended areas adjacent to landscape corridors.

Other signs, including those related to commercial, office, and multi-family use, as well as temporary construction, marketing, and sales signs, are regulated by the Roseville Sign Ordinance.

7.3.1 Neighborhood Entrance Signs

Neighborhood entrance signs may be placed in each of the neighborhood entrances, as shown in Figure A-24.

- Each neighborhood entrance sign is to specify one project name (e.g., "Woodcreek North").
- Neighborhood signage may be incorporated into a wall or fence.
- A maximum of two signs may be located on each side of the entry.
- The maximum height and area of signs shall be consistent with the City Sign Ordinance.

7.3.2 Project Entrance Signs

Project entrance signs may be placed in all project entrances not designated as a neighborhood entry along arterial or collector streets.

- One sign will be permitted on the entry wall on each side of the entry street.


7.4 Corner Clips


Corner Clips (triangular landscape corridor enlargements at intersections) are to be provided at all intersections of local roadways with arterial streets.

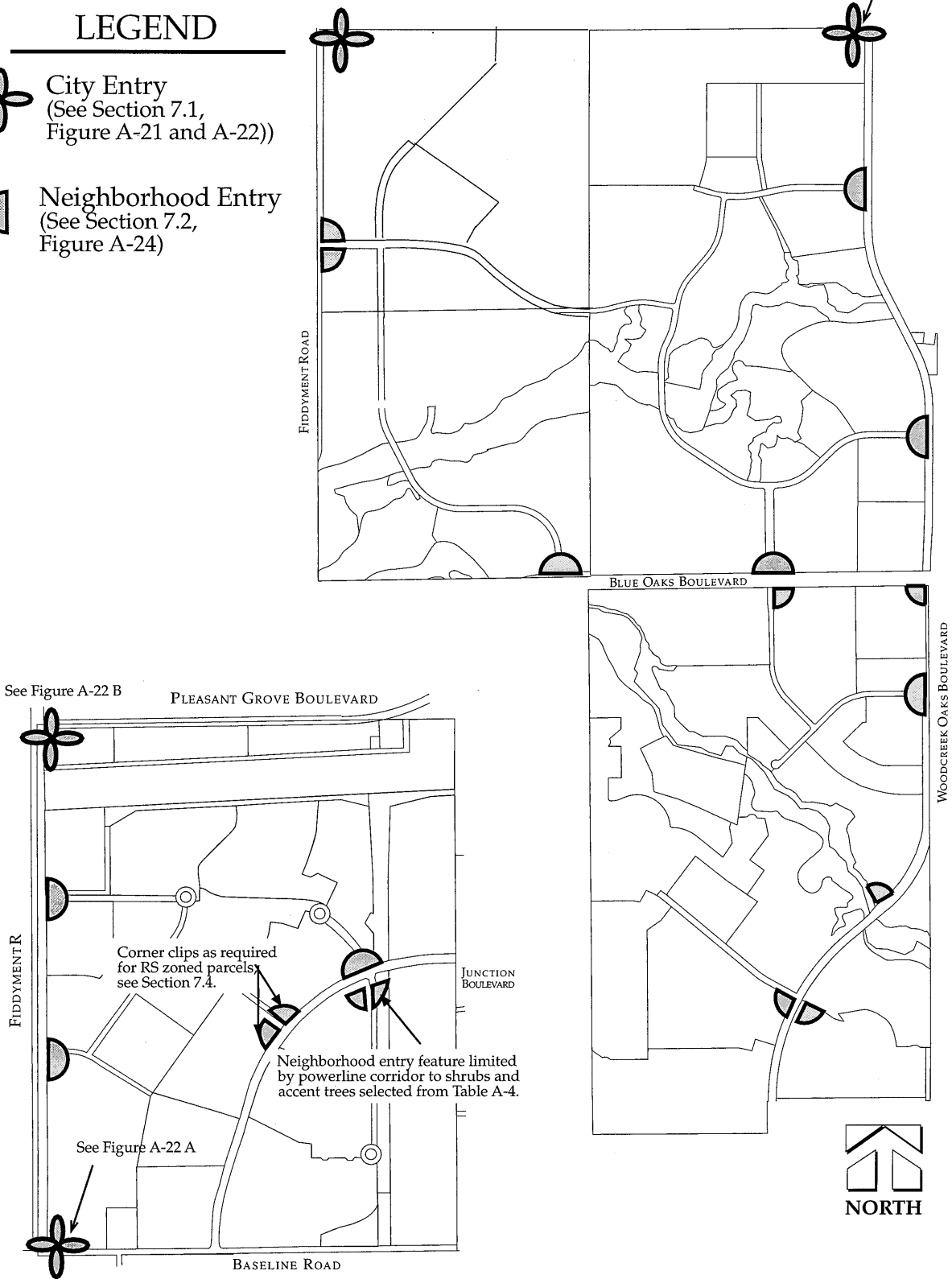
FIGURE A-23
KEY ENTRIES AND NEIGHBORHOOD ENTRIES

See Figure A-21

LEGEND

 **City Entry**
 (See Section 7.1,
 Figure A-21 and A-22))

 **Neighborhood Entry**
 (See Section 7.2,
 Figure A-24)



This concept may also be used for entries into subdivisions.

- Minimum corner-clip offset is 35 feet from the edge of the required landscape corridor, as shown in Figure A-25. Non-triangular corner clips are permitted (i.e., curved, stepped, etc.) provided they do not encroach into the minimum offset area. In RS zoned parcels the corner clip may be reduced to a 17-foot offset.
- Corner clips are to be landscaped in a manner compatible with the adjacent landscape corridors, and should include accent plantings.
- Where fencing is provided at the rear of corner clips, the fencing is to be a masonry wall (with pilasters or columns) to match or accent the adjacent masonry wall.
- Improvements within corner-clip areas are to be placed to allow adequate vehicular lines of

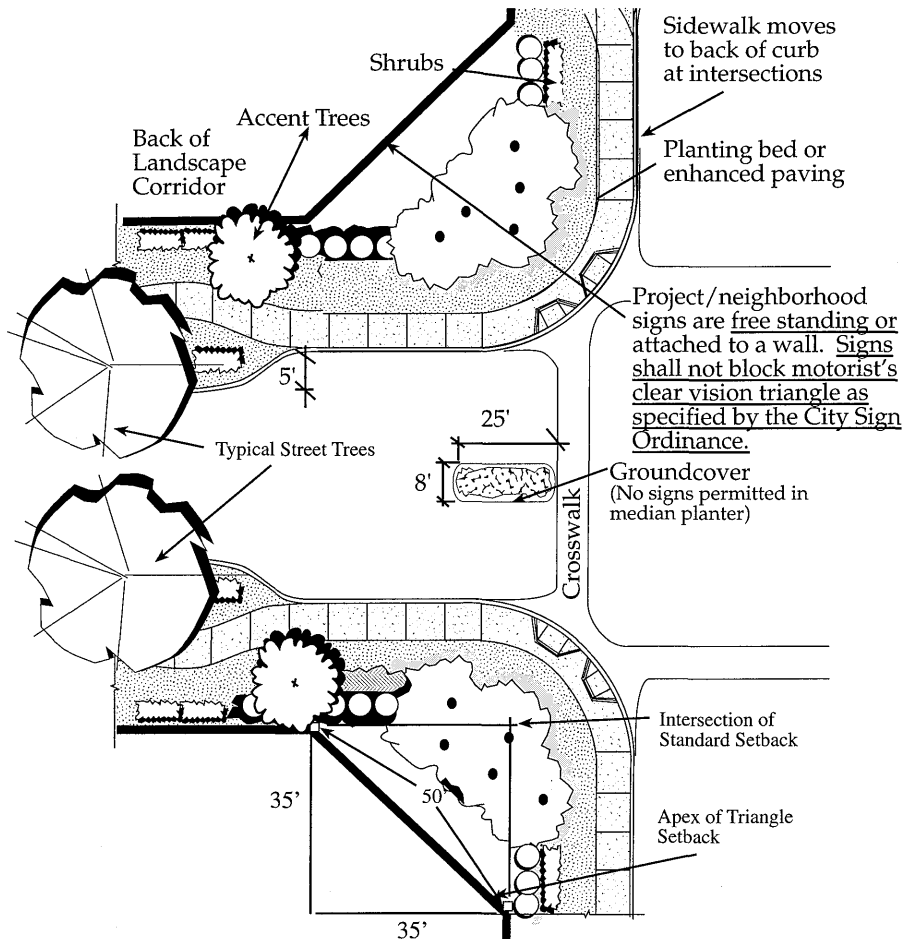
sight at intersections. This concept may also be used for entries into subdivisions.

7.5 Landscaping Adjacent to Open Space Edges

Streets will run adjacent to open-space areas where the arterial and collector streets cross an open space corridor and where the interior residential streets or cul-de-sac streets abut open space. This condition occurs where Woodcreek Oaks Boulevard crosses creeks, as well as collector and residential streets adjacent to open space.

- All sidewalks next to open space shall be located at the back of curb, unless there is sufficient space to permit the sidewalk to meander near the open space area.

FIGURE A-24
NEIGHBORHOOD-ENTRY FEATURE CONCEPT
PLAN VIEW



- Eight feet of natural landscaping consisting of random tree-planting and native shrubs will be adjacent to the sidewalk on the open space side of the sidewalk, but may be reduced to 5 feet where the sidewalk meanders.
- The location of trees and shrubs will be selected to retain view corridors from the street to the open space. Trees adjacent to open space will be:
 - planted in clusters of not less than three trees in informal, random fashion.
 - spaced according to size and to permit a view to the open space.
- Groundcover materials within planting areas adjacent to the natural open-space areas will be non-invasive species compatible with the natural habitat of the area, and planted primarily to inhibit weed growth behind the walk.
- Landscaping adjacent to open space may be waived by the City if the City determines that landscaping will detract from the natural amenities within the adjacent open space.
- Recommended tree species (where soil conditions permit) include:
 - Quercus douglasii (Blue Oak)
 - Quercus lobata (Valley Oak)
 - Cercis occidentalis (Western Redbud)
 - Cercis candensis (Eastern Redbud)
- Where there is no designated bike or pedestrian trail in the adjacent open space, an open-style fence along the edge of the street right-of-way may be used to limit pedestrian access to the open-space area.

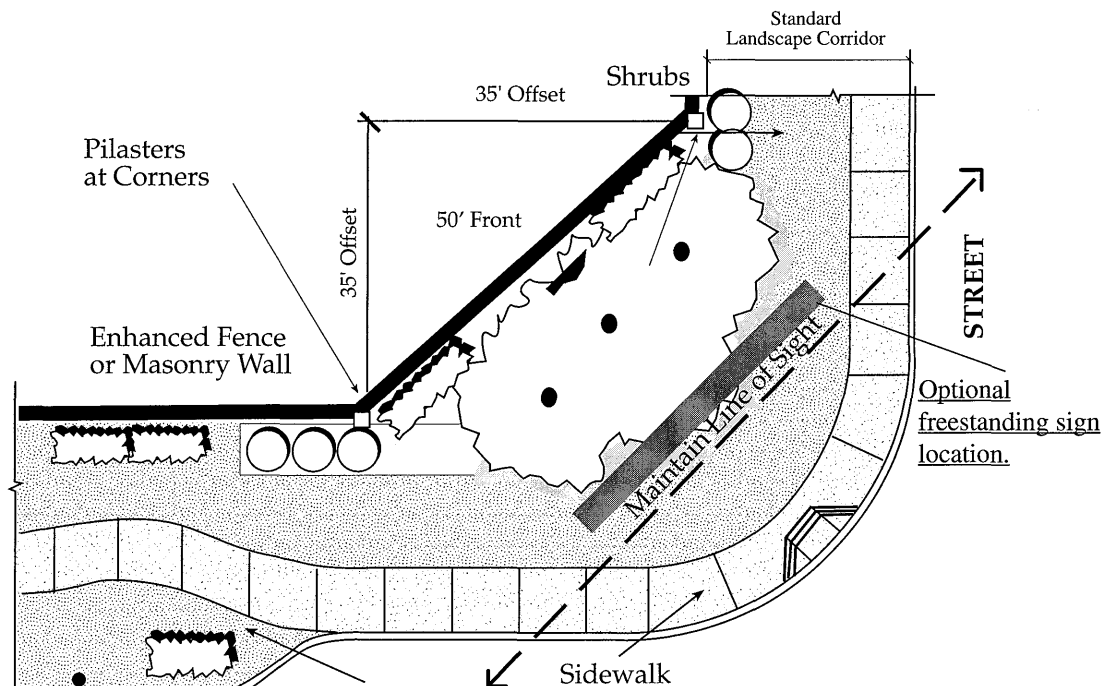
7.6 Landscaping in Public Utility Corridors

A Public Utility Easement of the same width runs with the landscape easements adjacent to all street curbs. General landscaping may occur within the easement. Any facilities proposed for placement within the PUEs shall be subject to review and approval by the Roseville Electric Department before any work commences in these areas. This includes, but is not limited to, landscaping, lighting, paving, trees, walls and structures of any type. All landscaping shall conform with the Roseville Electric Department Landscape Requirements and Work Clearances.

8.0 NEIGHBORHOOD DESIGN

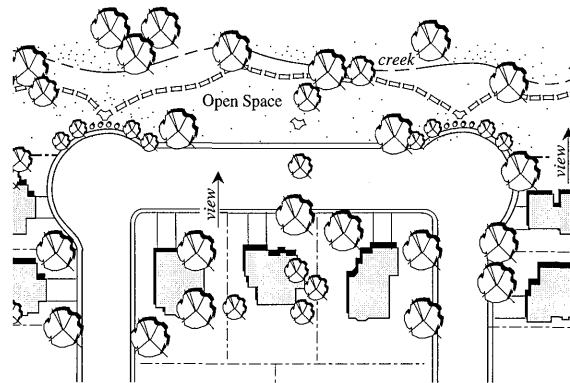
The plan area is organized in five distinct neighborhoods. The following North Roseville Specific Plan design standards augment the zoning ordinance standards, and will be applied to all low-density and medium-density residential development.

FIGURE A-25
CORNER CLIPS

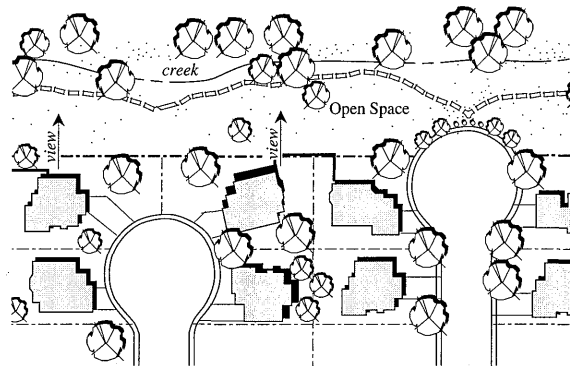


- Each neighborhood will provide access to the parks and natural creek corridors or created pedestrian-parkway corridors.
- The internal street system will be designed to allow residents to walk easily to nearby parks.
- The residences will be oriented toward the parks. The neighborhood parks will front on at least one single-loaded residential street to provide for visibility and ready access by the neighborhood residents. Other portions of the park may be adjacent to residential rear yards.
- Neighborhoods located adjacent to the open space corridor will provide access where residential streets abut the open-space edge if a City-designated pedestrian or bike path is located within the adjacent open space and access can safely be provided.
- A variety of alternative street patterns and residential-lot configurations will be used to achieve visual as well as physical access to open space. These alternatives provide open space views, and allow for a more direct interaction between the built environment and the natural setting. Used in combination with the more traditional double-loaded street configurations (with residences backing onto the open-space corridor and parks), these alternatives also provide variety in the subdivision design. Alternative street patterns are shown in Figure A-26.
- Where residential lots are adjacent to an open-space corridor, the use of open-type fencing is encouraged. However, the use of solid fencing is appropriate where privacy, security and/or noise attenuation are of concern, such as adjacent to public trails.
- Vehicular entrances into neighborhoods should be provided at intervals of approximately 800 to 1,000 feet to diffuse traffic flows. Neighborhood entrances should be encouraged along residential collector streets, and minimized along arterial streets (Blue Oaks Boulevard, Woodcreek Oaks Boulevard, Junction Boulevard, Pleasant Grove Boulevard and Fiddymont Road).

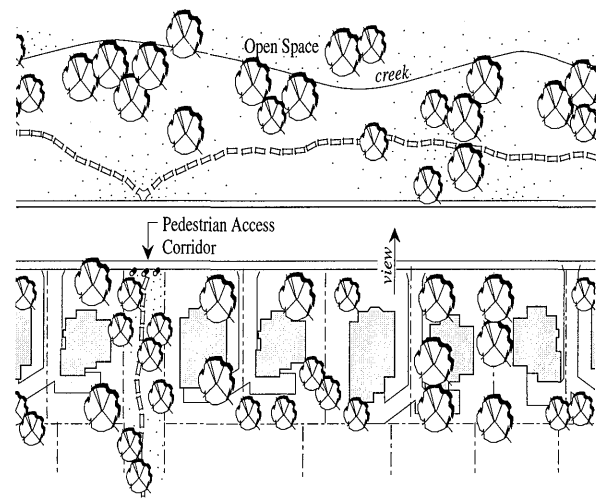
FIGURE A-26
ALTERNATIVE STREET PATTERNS
ADJACENT TO OPEN SPACE



Combination of Backup Lots and Street Frontage
 Adjacent to Open Space



Cul-de-sac Adjacent to Open Space



Single-Loaded Street Adjacent to Open Space

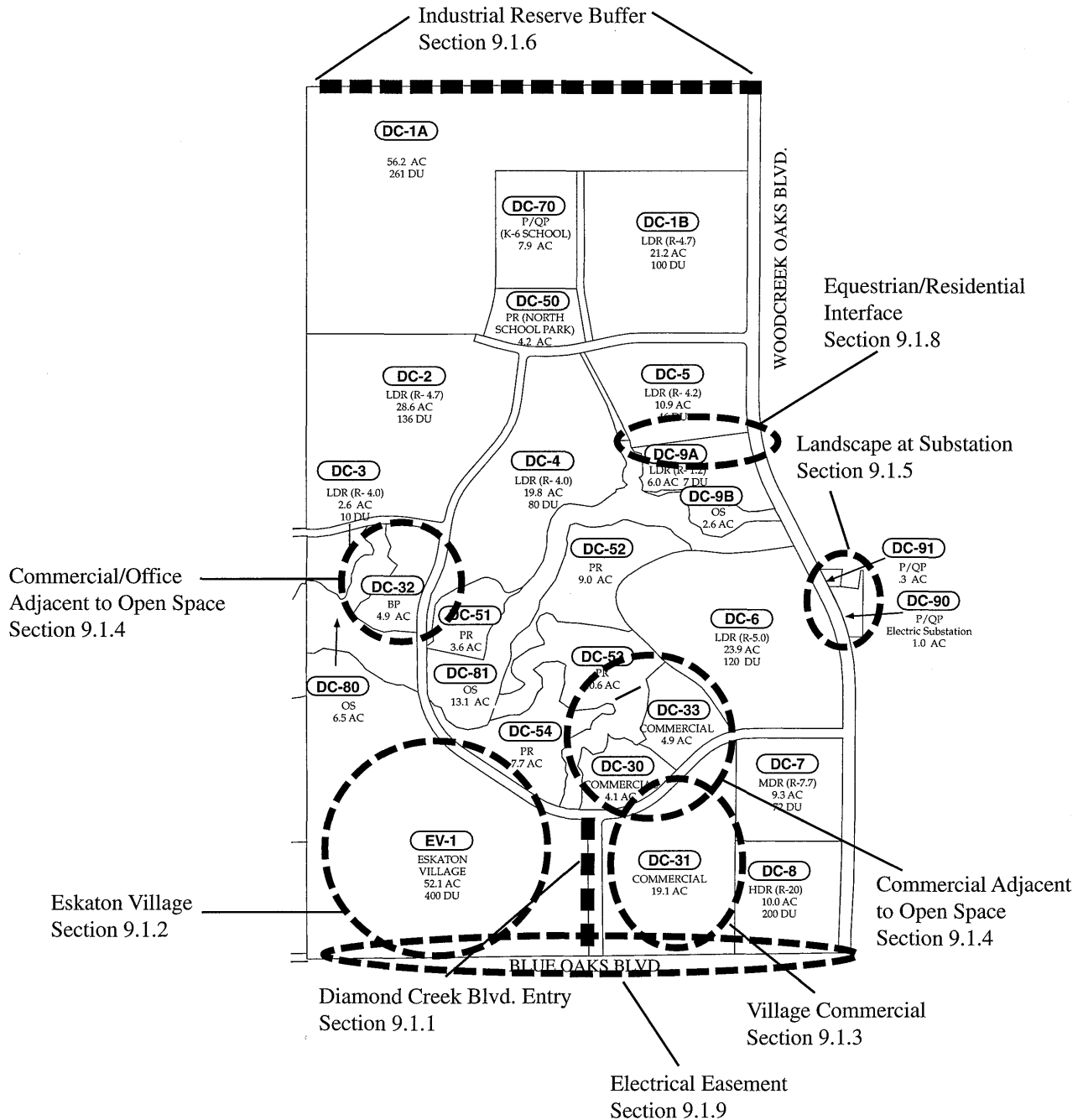
9.0 SPECIFIC DESIGN CONDITIONS

Within each neighborhood, unique conditions require special design guidelines and standards.

9.1 Neighborhood A

The specific conditions unique to Neighborhood A are identified in Figure A-27. The illustration notes the section in this document that provides the relevant description and policies.

FIGURE A-27
NEIGHBORHOOD A DESIGN ISSUES



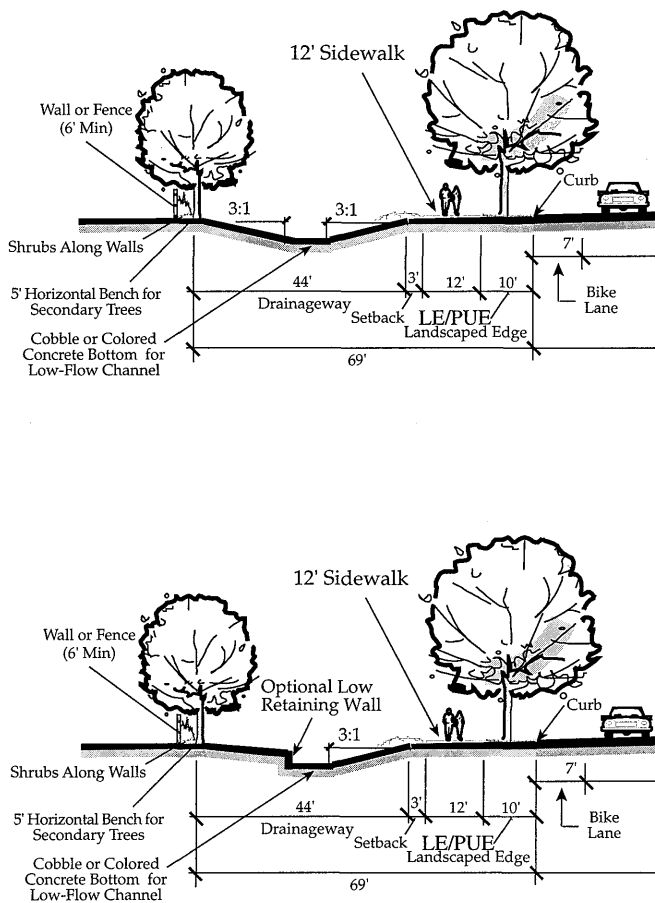
9.1.1 Diamond Creek Boulevard Entry Adjacent to Eskaton Village

Location: East side of Eskaton Village, Parcel EV-1

Affected Parcels: EV-1

The landscape corridor on the west side of Diamond Creek Boulevard between Blue Oaks Boulevard and Diamond Creek Park adjacent to Eskaton Village will be 69 feet wide to accommodate an open drainage way within a scenic corridor, as shown in Figure A-28.

FIGURE A-28
LANDSCAPED DRAINAGEWAY ALONG DIAMOND CREEK BLVD.



- A masonry wall and/or open fence will be constructed at the edge of the landscaped corridor.

- The slope shall not be steeper than 3:1, and shall be landscaped with lawn or other ground cover that can be easily maintained, and that can withstand occasional inundation and water flow.
- Landscaping within the drainageway shall include scattered accent trees near the top of the slopes, compatible with occasional flooding and saturation.
- A minimum 5-foot wide horizontal bench shall be placed at the top of the slope adjacent to Eskaton Village (EV-1) in front of any wall or fence, to provide space for planting secondary or accent trees and dense shrubs.
- To reduce the amount of unnecessary irrigation runoff into the drainage swale, the following practices should be implemented:
 - Use multiple water times/cycles to balance the application rate to the infiltration and absorption rates of the soils.
 - Design the irrigation system so that the individual lateral lines, heads and remote control valves are placed parallel with the slope (and/or for each remote control valve).
 - A storm-drain-type system may be considered in areas where the slope of the drainage swale is minimal.
- The floor of the drainage channel shall be a minimum 8-feet wide, lined with cobble or colored concrete meandering along the low-flow channel to prevent invasive weed growth, and accommodate daily runoff without inundation of side slopes.
- As an option, a low retaining wall may be used adjacent to the low-flow channel. (See Figure A-28)
- This corridor is to be maintained by the landowner of Eskaton Village.

9.1.2 Eskaton Village

Affected Parcels: EV-1

Eskaton Village is a separate, unique and self-contained senior project. The specific design standards for the entire village will be established in a Master Plan to be approved as part of the first application for development. These guidelines are intended to address design issues at the interface of

the village with adjacent land use, and the general concept for internal development.

- The east side of Eskaton Village (along Diamond Creek Boulevard) will have the option of a masonry wall, open (e.g. wrought-iron) fencing, or a combination of both (e.g. masonry wall for a distance north of Blue Oaks Boulevard, transitioning to wrought-iron fencing).
- Main entry is to line up with main entry median break for the commercial site on Parcel DC-31.
- Open-style fencing will be used adjacent to the open space along Pleasant Grove Creek.
- An enhanced-wood fence will be used adjacent to the single-family residences in Neighborhood C on the west side of Eskaton Village.
- The landscape design will be campus-wide and not limited to street frontages.
- Internal streets/walkways will focus on connecting residences to each other and to various functions within the community.
- Attached/clustered residences may have green belts or joint courtyards (not streets) as their primary orientation.
- Minimize public views of parking which may include screening.
- Provide dense landscaping along the western edge for buffering.

9.1.3 Village Commercial

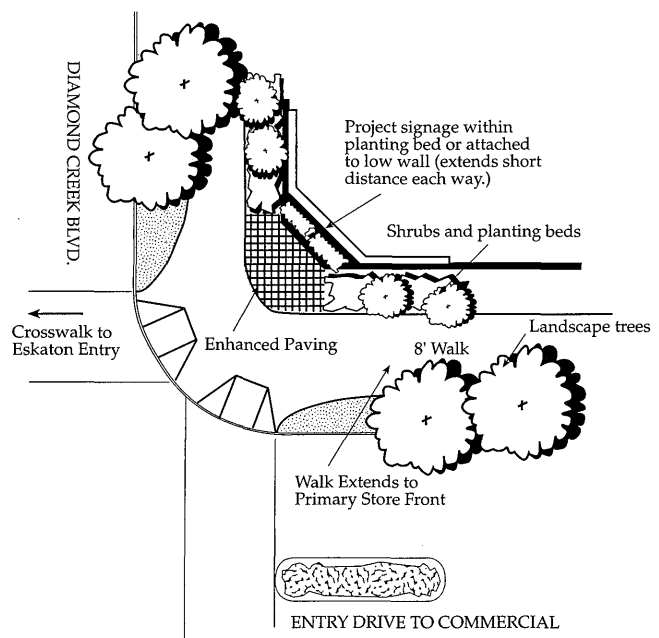
Affected Parcels: DC-31

The 18.9 acre commercial center in Neighborhood A (Parcel DC-31) is intended to provide a special setting for retail, service and office uses with strong emphasis on quality design, pedestrian access, and small, pedestrian-friendly spaces. The parcel is specifically intended to not develop in a conventional “L” shape or strip commercial configuration.

- Special emphasis shall be given to architectural elements, artwork, site furnishings and special hardscape features.
- Use of traditional materials (stone, brick) shall be incorporated into the design.

- Spaces within commercial areas dedicated to pedestrian use (plazas) shall be incorporated into the design.
- Public pedestrian spaces will be at least partially shaded to enhance summer use. Broad-canopy, deciduous shade trees or shade structures may be used to provide a ceiling over the plazas, and help to temper the summer climate.
- A clearly defined pedestrian way separated from vehicle traffic shall be provided through the parking area to the main buildings from the crosswalk across Diamond Creek Boulevard leading from Eskaton Village. (See Figure A-29)

**FIGURE A-29
PEDESTRIAN WAY DETAIL**



- Site design for DC-31 should consider linkage similar to that off of Diamond Creek Boulevard (See Figure A-28) connecting to DC-30 and DC-33.
- A minimum 6-foot high masonry wall is required adjacent to the medium-density residential (DC-7) and the high-density residential (DC-8). It is anticipated that loading areas may be adjacent to these parcels.
- Parking areas should be de-emphasized and disaggregated.

- Enhanced paving should be used selectively to emphasize special areas and to guide pedestrians.

9.1.4 Commercial and Office Use Adjacent to Open Space

Affected Parcels: DC-30, DC-32, DC-33

Two of the commercial sites (Parcels DC-31 and DC-33) and the business professional (Parcel DC-32) site are uniquely located adjacent to attractive open space and parks. These sites offer opportunities to overlook the parks (or open space) and provide terraces, balconies, decks and plazas connecting to the open space.

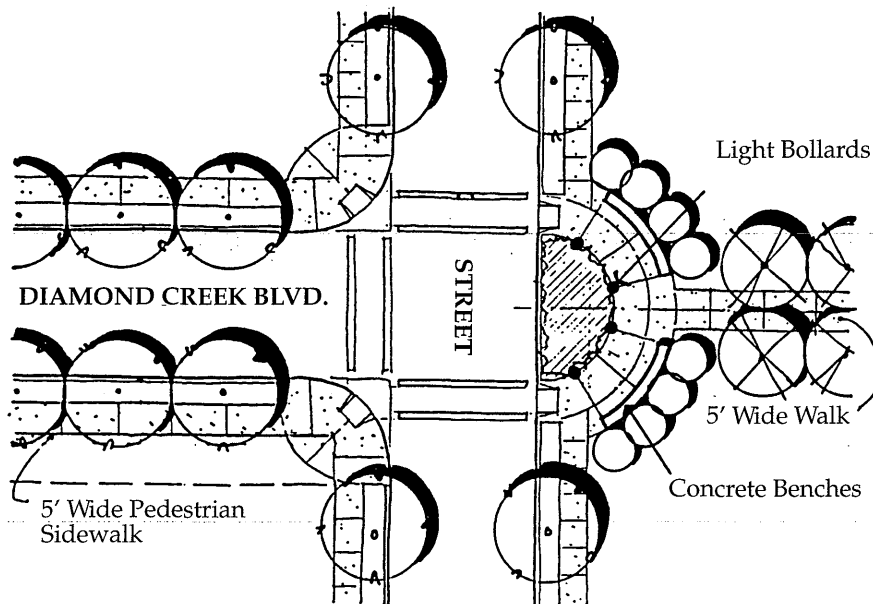
- Buildings should be located adjacent, and oriented, to the open space so as to take advantage of views and provide pedestrian access opportunities.
- Flat roofs and expansive use of blank walls adjacent to the open space shall not be used.
- Buildings may include elements such as terraces or balconies oriented to the open space.

- Building elevations shall incorporate similar architectural elements on all sides of the building, where they can be publicly viewed.
- Loading and unloading areas shall be located so that there is minimal conflict with open space.
- Large parking lots adjacent to open space are discouraged. Where parking is adjacent, it shall be set back by a minimum 15-foot landscape area.
- Pedestrian spaces, including plazas, walkways and seating areas adjacent to the open space, shall be included in the design.
- A pedestrian link between the open space and commercial use shall be included in the design.
- A terminus to Diamond Creek Boulevard shall be incorporated into Parcel DC-30 (See Figure A-29).

9.1.5 Landscape Adjacent to the Electric Substation

Location: Along Woodcreek Oaks Blvd. south of Pleasant Grove Creek
Affected Parcels: DC-90

FIGURE A-30
TERMINUS OF DIAMOND CREEK BLVD.



The electric substation planned on the east side of Woodcreek Oaks Boulevard shall provide a minimum 6-foot high masonry wall at the back of the 35-foot landscape setback. The masonry wall and corridor landscaping shall be similar and compatible with the wall and corridor landscaping constructed on the west side of Woodcreek Oaks Boulevard in Neighborhood A.

9.1.6 Residential Adjacent to Industrial Use

Location: North and east perimeter of Neighborhood A.
Affected Parcels: DC-1, DC-5, DC-9A, DC-9B, DC-6, DC-7, DC-8

No industrial use is proposed within the plan area; however, industrial-zoned land is located to the east of Woodcreek Oaks Boulevard. In addition, the land immediately north of Neighborhood A is designated “Industrial Reserve” by Placer County.

- The industrial use in Roseville is separated from the residential use by Woodcreek Oaks Boulevard along the east boundary of the Specific Plan area. Woodcreek Oaks Boulevard includes a landscape corridor and masonry walls adjacent to the single family residential areas, as well as a landscaped median and a landscaped corridor adjacent to the future industrial use. Based on ROW and the adjacent landscape corridor, the minimum distance between the future industrial uses and

residential buildings would be at least 136-feet. This doesn’t include additional building setbacks that would further increase the width.

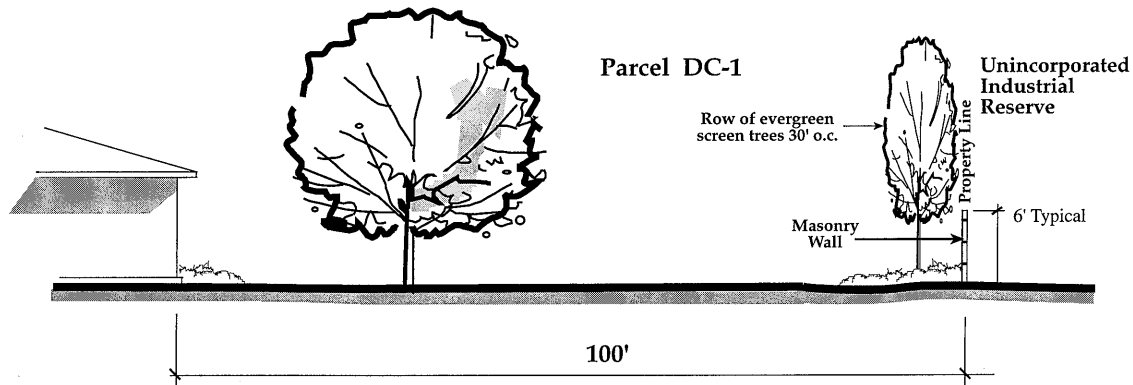
- Industrial zoned land is located on the north side of Diamond Creek (Neighborhood A) in Placer County. A minimum 100-foot setback between the homes and the industrial property will be provided as a buffer between the two land uses. A 6-foot high masonry wall will be placed on the property line, along with a row of evergreen screen trees to be planted 30-feet on center by the project developer, as shown in Figure A-31.
- The masonry wall used along the north side of Parcel DC-1 adjacent to industrial may be a prefabricated panel wall (“Masonry Wall”) shown in Figure A-14.

9.1.7 Residential Adjacent to Equestrian Use on Parcels DC-9A and 9B.

Affected Parcels: DC-5, DC-9A

Parcels DC-9A and 9B include equestrian uses. Horses will be stabled, maintained and exercised within the confines of these parcels. Parcel DC-9A is adjacent to proposed single-family residential use on Parcel DC-5. In order to provide separation between the equestrian activity and the adjacent residences, a 75-foot wide buffer will be provided between the homes on DC-5 and the fence that contains horses, per the Roseville Municipal Code. The buffer will consist of a combination of a residential front-yard setback on

**FIGURE A-31
 RESIDENTIAL BUFFER TO INDUSTRIAL RESERVE**



DC-5, a single-loaded street built by the developer of DC-5, and a 15-foot setback on DC-9A. Approximately 2 or 3 lots adjacent to Woodcreek Oaks Boulevard and DC-9A may be designed so that they have a 45-foot rear yard set back combined with a 30-foot setback on DC-9A to achieve the 75-foot buffer requirement. See Figure A-32.

adjacent to Eskaton village and Diamond Creek. In addition to standards for all landscape corridors along arterial streets, the following additional standards shall apply in that portion of the landscape corridor that may be used for the powerline, as shown in Figure A-33.

9.1.8 Electric Easement Adjacent to Blue Oaks Boulevard

Location: South of Diamond Creek
Affected Parcels: EV-1, DC-31, DC-8.

A 60kv power line may be constructed in a 20-foot easement in the future, within the 50-foot landscape corridor on the north side of Blue Oaks Boulevard

- Landscaping within the 20 foot powerline easement is restricted to shrubs, groundcover, lawn and trees selected from Secondary Tree Group 2, Table A-4.
- No permanent structures other than electric utilities may be placed upon this electric easement.
- Lighting structures and landscaping within the powerline easement shall not exceed 15-foot above the ground elevation, and shall not be within 25-feet of the nearest high-voltage transmission line conductor.

FIGURE A-32
SETBACK TO EQUESTRIAN USE ON PARCEL DC-9A

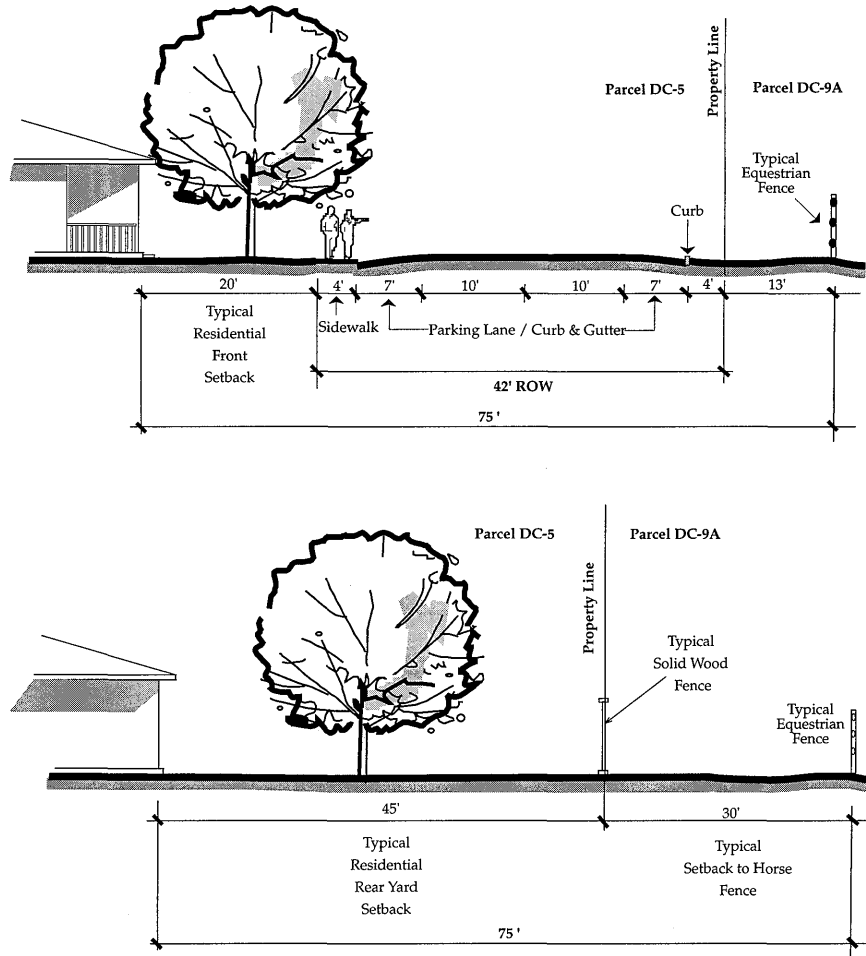
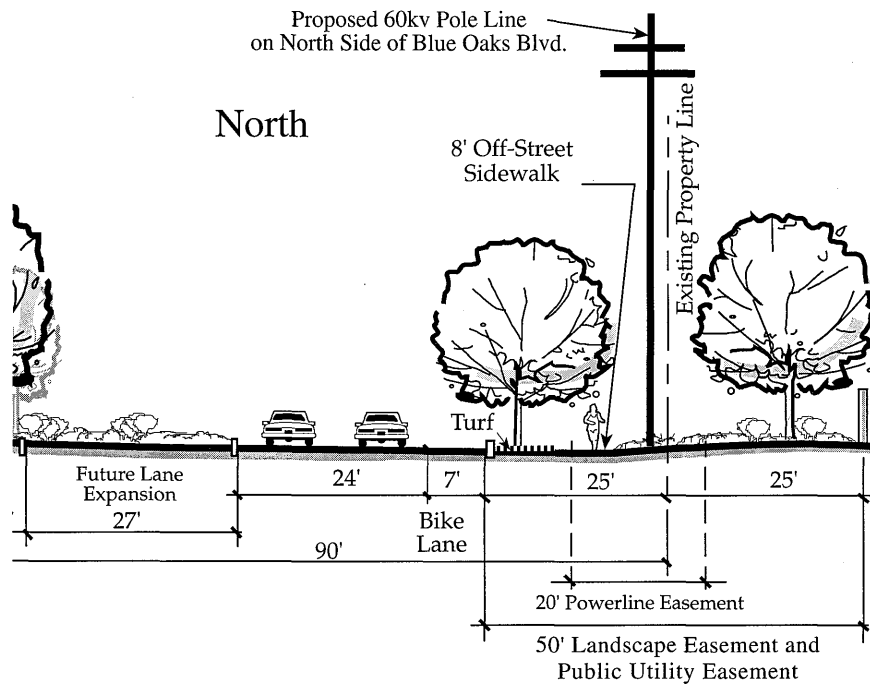


FIGURE A-33
LANDSCAPE ADJACENT TO POWERLINE CORRIDOR
ALONG BLUE OAKS BOULEVARD



- Berms shall not be placed next to the base of powerline poles.
- Drip line of all trees shall be maintained at a minimum of 6-feet.
- All grading, landscape structures (including lighting and fencing) and landscaping on a public-utility easement or near a public utility is subject to final approval by the City.
- The 8-foot wide sidewalk shall be allowed to meander within and adjacent to the existing 20-foot wide public-utility easement.
- No overhead powerlines shall be constructed in parks or open-space corridors or parcels.

9.2 Neighborhood B

The specific conditions unique to Neighborhood B are identified in Figure A-34.

9.2.1 Drainageway Along Blue Oaks Boulevard Adjacent to Parcels M-5 and M-30

Location: Adjacent to Parcels M-5 and M-30 on the south side of Blue Oaks Boulevard.

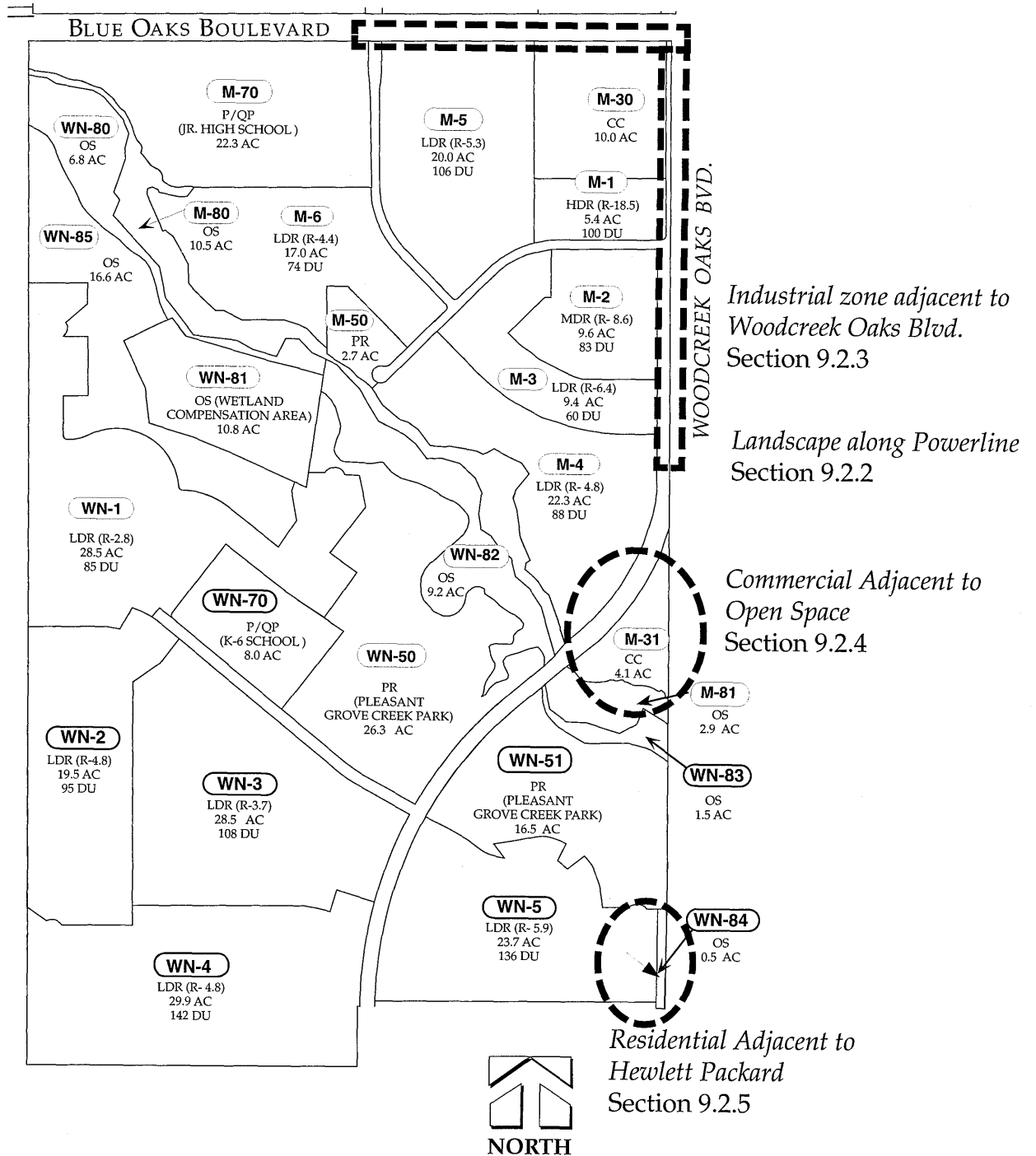
Affected Parcels: M-5 and M-30

The landscape corridor on the south side of Blue Oaks Boulevard adjacent to Parcels M-5 and M-30 will be 75-feet wide to accommodate an open drainageway, as shown in Figure A-35.

- A masonry wall will be constructed at the edge of the landscaped corridor adjacent to Parcel M-5.
- There will be no fence along the landscape corridor adjacent to Parcel M-30.
- The slope shall not be steeper than 3.5:1
- A 3:1 slope may be integrated in with a 3.5:1 slope to accommodate the meandering low flow channel.
- Side slopes shall be landscaped with lawn or other groundcover that can be easily maintained, and that can withstand occasional inundation and water flow.

FIGURE A-34
NEIGHBORHOOD B DESIGN ISSUES

Drainageway Along Blue Oaks Blvd.
Section 9.2.1



- Landscaping within the drainageway shall include scattered non-deciduous secondary and accent trees compatible with occasional flooding and saturation near the top of slopes.
- A minimum 3-foot wide horizontal bench shall be placed at the top of the slope adjacent to Parcel M-5 and M-30, in front of the wall, to provide space for planting shrubs, vines, and secondary or accent trees.
- To reduce the amount of unnecessary irrigation water runoff into the drainage swale, the following practices should be implemented:
 - Use multiple water times/cycles to balance the application rate to the infiltration and absorption rates of the soils.
 - Design the irrigation system so that the individual lateral lines, heads and remote control valve are placed parallel with the slope (and/or for each remote-control valve).
 - A storm-drain-type system may be considered in areas where the slope of the drainage swale is minimal.
- The floor of the drainage channel shall be a minimum 8-foot wide, and lined with colored concrete meandering along the low-flow channel to prevent invasive weed growth and accommodate daily runoff without inundation

of side slopes.

- An optional, low retaining wall may be used adjacent to the low-flow channel.

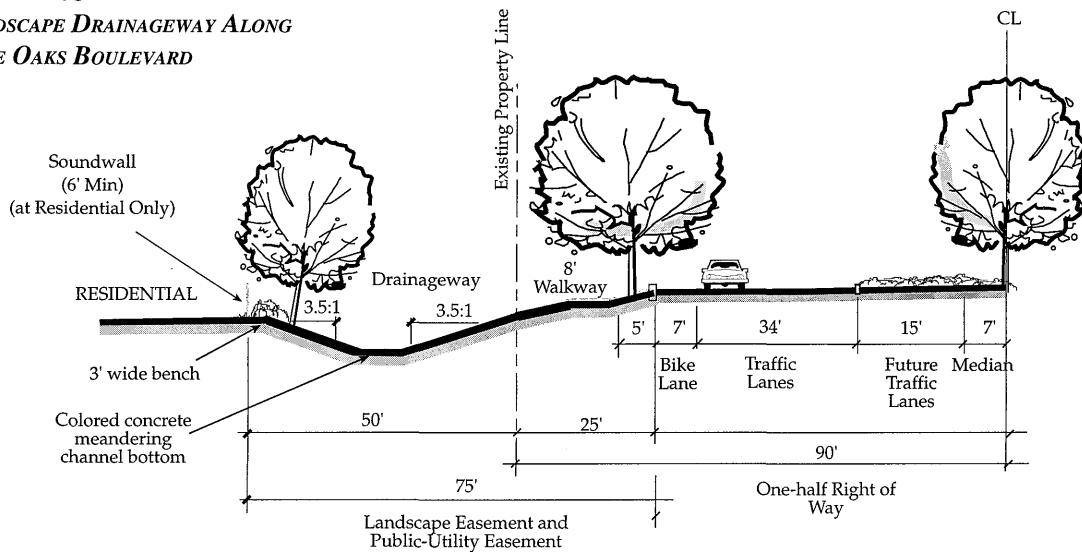
9.2.2 Landscape Adjacent to Powerline Easement Along Woodcreek Oaks Boulevard

Location: East of Mourier 140

Affected Parcels: M-1, M-2, M-3, M-4, M-30

A 20-foot wide public-utility easement runs along the west side of Woodcreek Oaks Boulevard, south of Blue Oaks Boulevard as shown in Figure A-36. In addition to the other landscape requirements on Woodcreek Oaks Boulevard, the standards set forth in Section 9.1.9 shall apply in that portion of the landscape corridor within the existing public-utility corridor.

FIGURE A-35
LANDSCAPE DRAINAGEWAY ALONG
BLUE OAKS BOULEVARD



9.2.3 Industrial Use Adjacent to Woodcreek Oaks Boulevard

Affected Parcels: M-1, M-2, M-3, M-4, M-30

The land east of the Mourier 140 property and Woodcreek Oaks Boulevard is within the Hewlett-Packard Master Plan, and is intended as a mix of commercial and light industrial use.

- The industrial use is separated from the Mourier 140 residential uses by Woodcreek Oaks Boulevard along the east boundary of the plan area.
- Woodcreek Oaks Boulevard includes a landscape corridor and masonry walls adjacent to the single-family residential areas, as well as a landscaped median and a landscaped corridor adjacent to the future industrial use. Based on ROW and landscape corridors, the minimum setback between future industrial and residential buildings would be 151 feet. This does not include additional setbacks required for residential and industrial buildings.

9.2.4 Commercial Use Adjacent to Open Space

Affected Parcels: M-31

Parcel M-31 overlooks the South Branch of Pleasant Grove Creek, and the Pleasant Grove Creek Park (Parcel WN-51) to the south. The site is an unusual shape resulting from the alignment of Woodcreek Oaks Boulevard, and is suitable for special retail use, services and offices. Such uses can adapt to the shape and benefit from orientation to the open space with terraces, balconies, decks and plazas connecting to the open space. The guidelines set forth in Section 9.1.4 are applicable to this parcel.

9.2.5 Residential Use Adjacent to Hewlett Packard and the City Golf Corporation Yard

Affected Parcel: WN-5

A small portion of Woodcreek North (Neighborhood B, Phase 1) is adjacent to the Hewlett Packard campus as shown in Figure A-37. A portion of the residential

FIGURE A-36
LANDSCAPE IN POWERLINE CORRIDOR ADJACENT TO WOODCREEK OAKS BOULEVARD

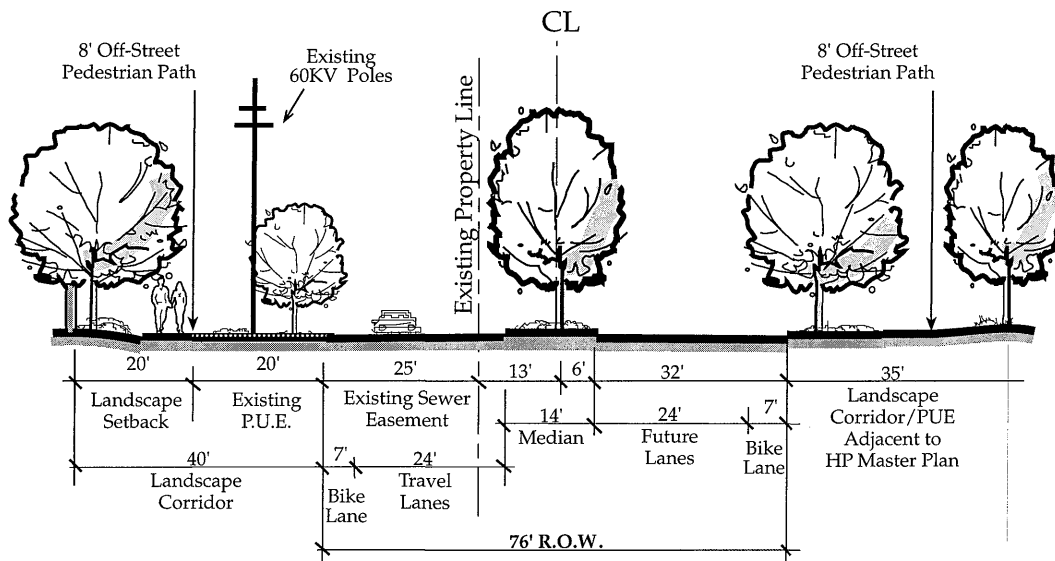
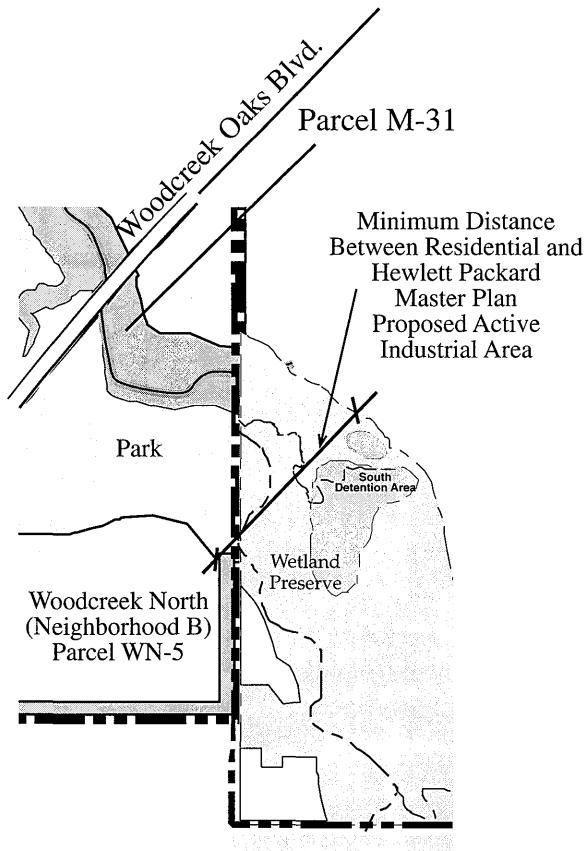


FIGURE A-37
RESIDENTIAL USE ADJACENT TO HEWLETT PACKARD
MASTER PLAN



use is buffered from the future industrial use of this area by the open-space corridor designated in the Hewlett Packard Master Plan. In addition, all the residential use is separated by the bikeway corridor included in the North Roseville Specific Plan (refer to Section 4.3 and Figure 4-11 in the NRSP).

9.3 Neighborhood C

The specific conditions unique to Neighborhood C are identified in Figure A-38.

9.3.1 Residential Adjacent to Agriculture

Affected Parcels: W-1, W-2 and W-3

Agricultural-zoned land abuts the plan area west of Neighborhood A., north and west of Neighborhood C.

The historical agricultural use in this area has been grazing and dry-land grain farming. Tilling, spraying and other intensive agricultural activities are not typical of this area. A pistachio orchard is located west of Neighborhood C, but will be separated from the residential use by a proposed park and the Pleasant Grove Creek open space corridor.

- The separation between residential and agricultural use will be provided by a minimum 50-foot buffer to the living structure in all neighborhoods immediately abutting agricultural-zoned lands. The buffer includes the existing road, landscape corridors and rear yard setbacks. See Figure A-39 A and alternative Figure A-39 B.
- Solid-wood or masonry fencing is required adjacent to the agricultural-designated land.
- In the event that agricultural use is converted to a non-agricultural use adjacent to Neighborhood C the 50 foot buffer is no longer required.

9.3.2 Open Space Fence

Affected Parcels: W-1, W-3, W-4 and W-5

Fencing adjacent to the open space shall be a non-combustible wrought iron type as shown in Figure A-19.

9.3.3 Fence Along Fiddymment Road

Affected Parcels: W-1, W-2

The plan area frontage along existing Fiddymment Road will require a masonry wall, as illustrated in Figure A-14, and a 20 foot wide landscape corridor with street trees, shrubs and groundcover as shown in Figure A-39B.

9.3.4 Bridge over Pleasant Grove Creek

A bridge similar to the illustration in Figure 40A shall be used on the Collector "N" crossing over Pleasant Grove Creek as required in the Development Agreement.

FIGURE A-38
NEIGHBORHOOD C DESIGN ISSUES

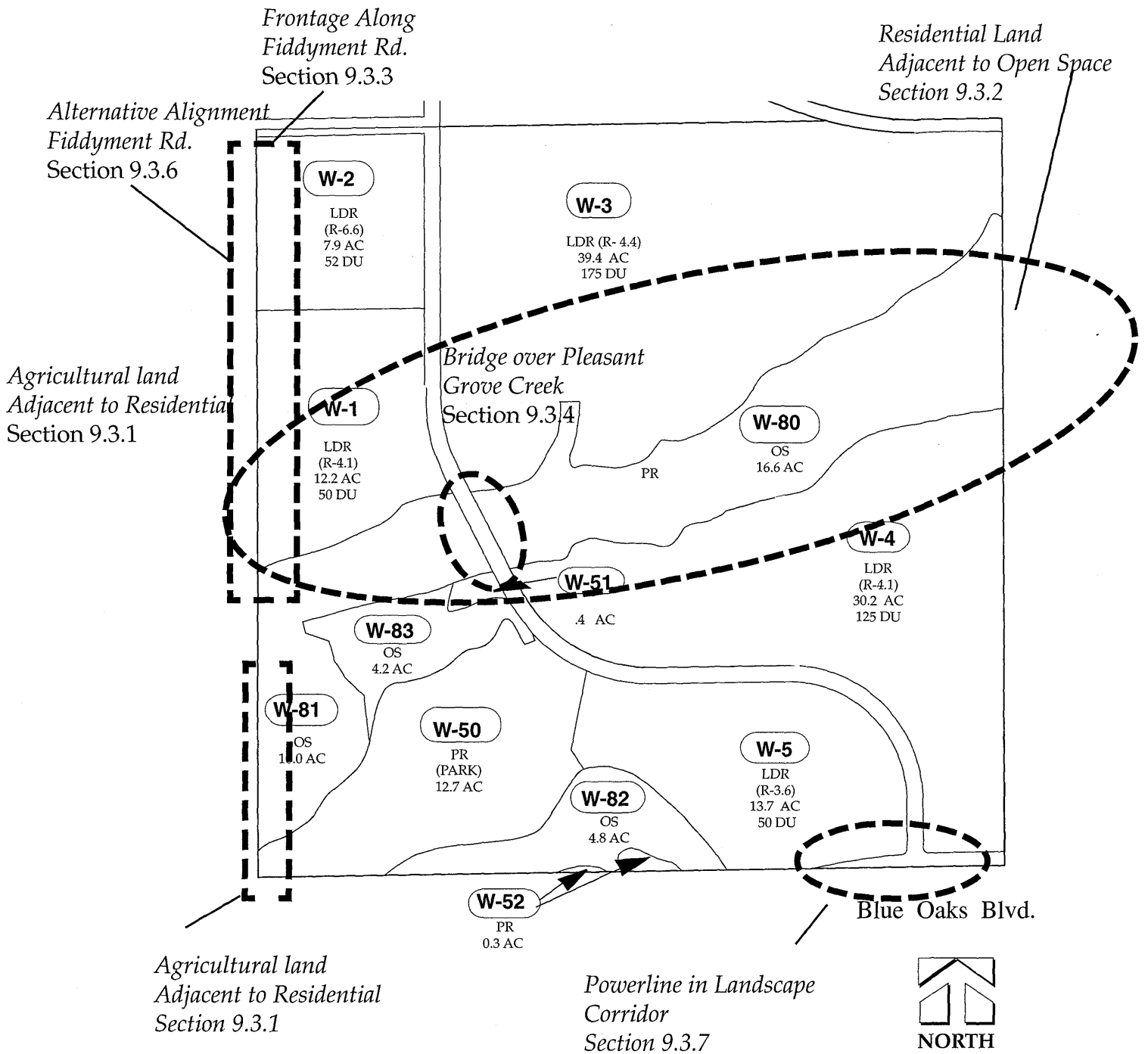


FIGURE A-39 A
AGRICULTURAL BUFFER AT FIDDYMENT ROAD IF
FIDDYMENT ROAD IS REALIGNED

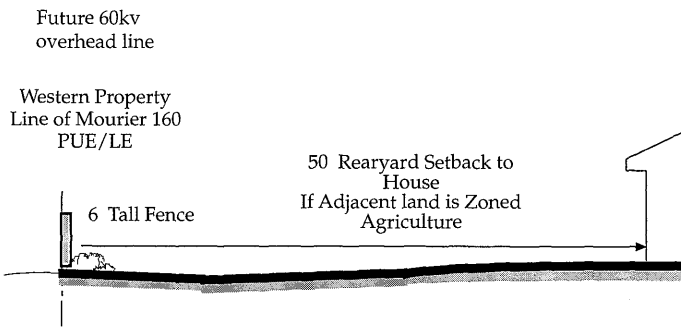


FIGURE A-39 B
AGRICULTURAL BUFFER AT FIDDYMENT ROAD IF
FIDDYMENT ROAD IS NOT REALIGNED

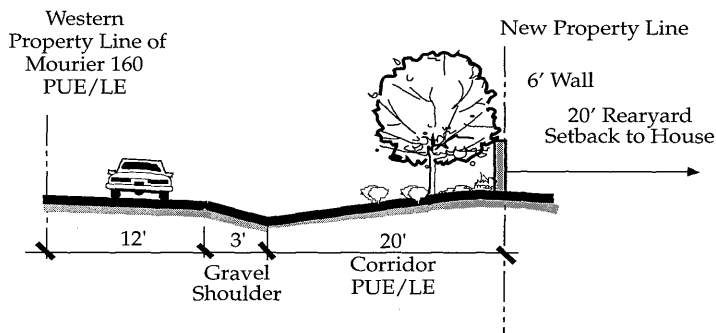


FIGURE 40A
CONCEPTUAL ILLUSTRATION OF BRIDGE OVER
PLEASANT GROVE CREEK

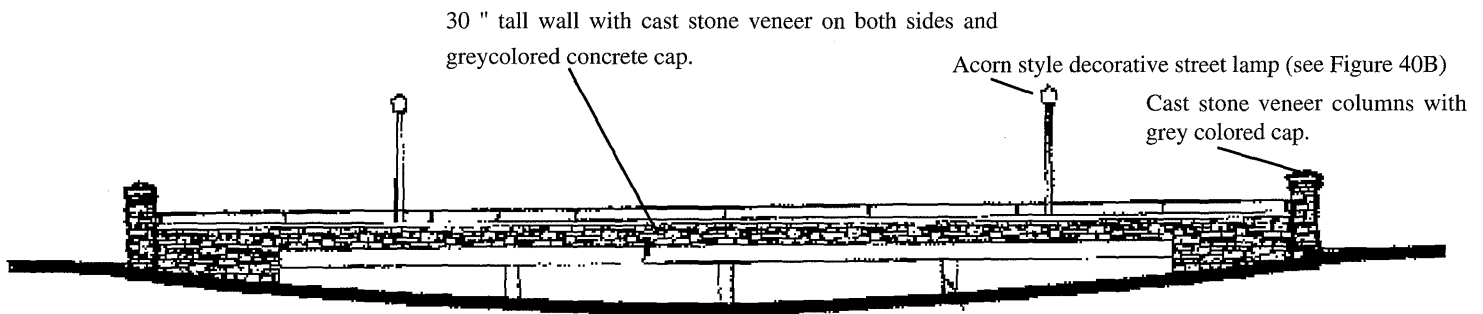
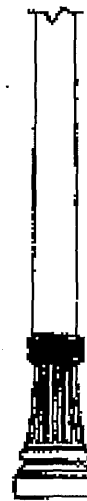
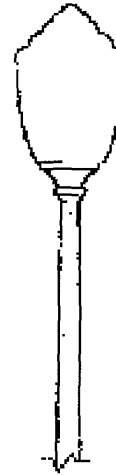


FIGURE 40B
TYPICAL ACORN STYLE STREET LAMP



9.3.5 Street Lights

Streets lights in Neighborhood C shall be the "acorn" style as shown in Figure 40B.

9.3.6 Fiddymment Road Alternative

An alternative to the future improvement of Fiddymment Road involves realigning the road further to the west away from the property boundary of Neighborhood C. In this condition the road would no longer abut the property, except for a short distance at the northwest corner of the property. The road improvements described in Section 9.3.3 would not be required. With Fiddymment Road realigned the planned residential Parcels W-1 and W-2 would abut agricultural land. The residential use would require a solid wood fence as shown in Figure A-16 and a 50 foot buffer abutting agricultural use. The 50 foot setback will be from the property line in Neighborhood C to the living structure.

9.3.7 Electric Easement Adjacent to Blue Oaks Boulevard

Location: *Blue Oaks Blvd. Adjacent to Neighborhood C*

Affected Parcels: *W-4, W-5*

A 60kv power line may be constructed in a 20-foot easement in the future, within the 50-foot landscape corridor on the north side of Blue Oaks Boulevard adjacent to Neighborhood C. In addition to standards for all landscape corridors along arterial streets, the following additional standards shall apply in that portion of the landscape corridor that may be used for the powerline, as shown in Figure A-33.

- Landscaping within the 20 foot powerline easement is restricted to shrubs, groundcover, lawn and trees selected from Secondary Tree Group 2, Table A-4.
- No permanent structures other than electric utilities may be placed upon this electric easement.
- Lighting structures and landscaping within the powerline easement shall not exceed 15-feet above the ground elevation, and shall not be within 25-feet of the nearest high-voltage

transmission line conductor.

- Berms shall not be placed next to the base of powerline poles.
- Drip line of all trees shall be maintained at a minimum of 6-feet.
- All grading, landscape structures (including lighting and fencing) and landscaping on a public-utility easement or near a public utility is subject to final approval by the City.
- The 8-foot wide sidewalk shall be allowed to meander within and adjacent to the existing 20-foot wide public-utility easement.
- No overhead powerlines shall be constructed in parks or open-space corridors or parcels.

9.4 Neighborhood D

The specific conditions unique to Neighborhood D are identified in Figure A-41.

9.4.1 Residential Adjacent to Wetland Preserve Areas/Powerline Corridors

Affected Parcels: *WW-1, WW-6, WW-9, WW-10*

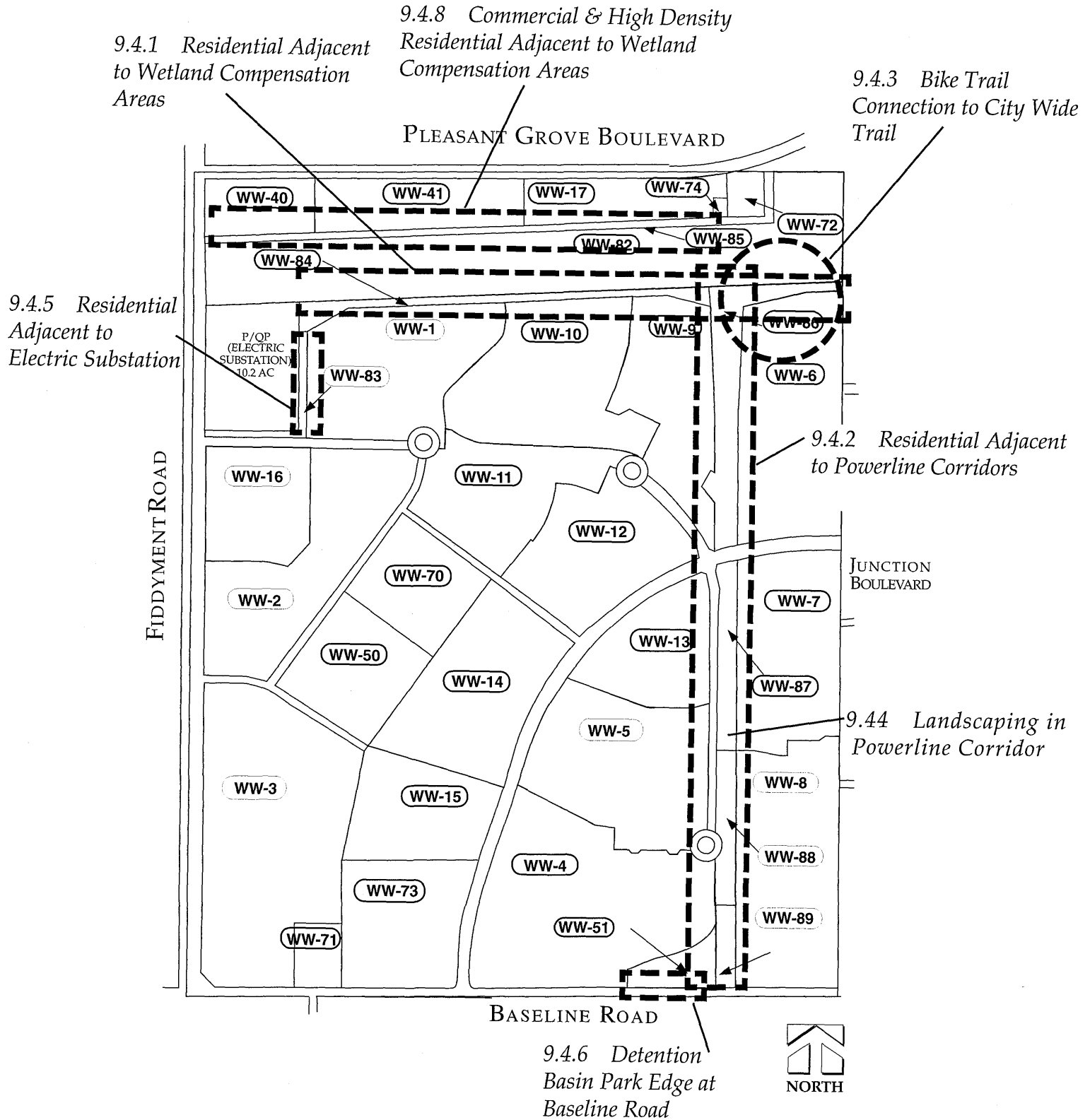
The wetland compensation area (Parcel WW-82) will have a permanent three wire and steel post fence along the edge. The buffer area that separates the residential parcels from the compensation area (Parcels WW-84 and portion of WW-86) will have a permanent fence adjacent to the residences. This fence will vary depending on the conditions. Streets and cul-de-sacs will have a post and cable abutting the buffer area. Homes will side on, or face the wetland area across a single loaded residential street, similar to the conditions shown in Figure A-26. In these conditions the fence along the residential rear or side yards adjacent to the buffer area shall be a non-combustible wrought iron type as shown in Figure A-18.

9.4.2 Residential Adjacent to Powerline Corridors

Affected Parcels: *WW-4, WW-5, WW-6, WW-7, WW-8, WW-9, WW-13*

Residential areas adjacent to the north/south powerline corridor shall be oriented to front or side toward the

FIGURE A-41
NEIGHBORHOOD D DESIGN ISSUES



corridor. The preferred condition is for dwellings to side on or face the open space across a single loaded residential street. At a minimum one side of the powerline corridor will have a single loaded street (Collector Street K) or a single loaded residential street or cul-de-sac in order to provide a sense of open space and allow full visibility to the corridor. Refer to Figure A-26 for conceptual examples of housing oriented to open space.

9.4.3 Bike Trail Connection to City Wide Trail

The north-south power line corridor will include a bike path linking Freerun Park (Parcel WW-51) to Mahany Park. The bike trail shall connect to the bike trail along the south side of the wetland compensation area and the buffer area (Parcel WW-86).

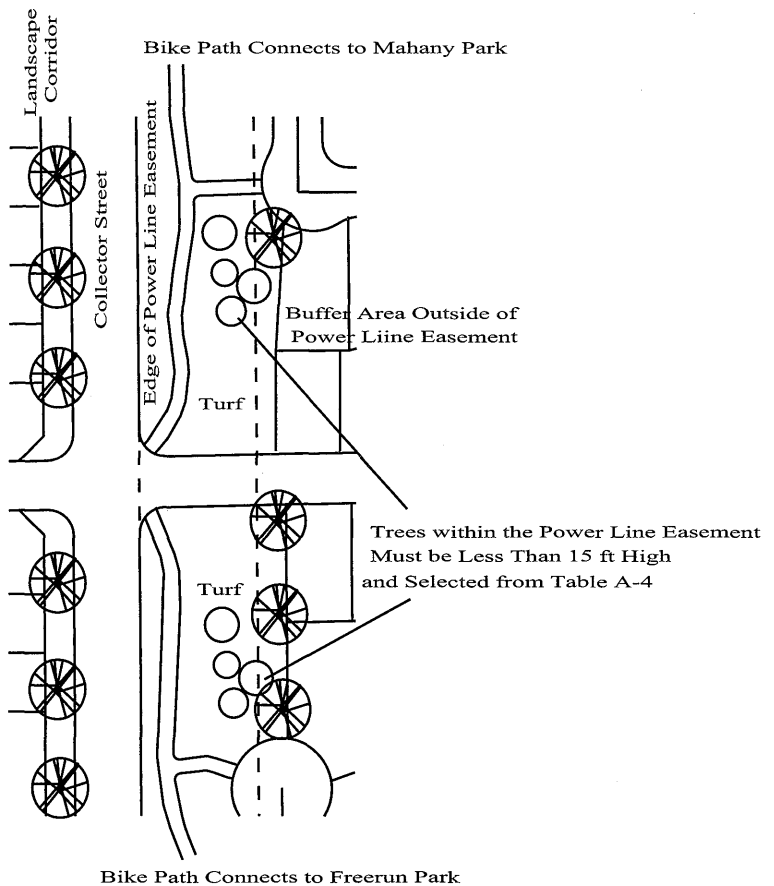
9.4.4 Landscaping in Powerline Parkway

Affected Parcels: WW-86, WW-87, WW-88, WW-89

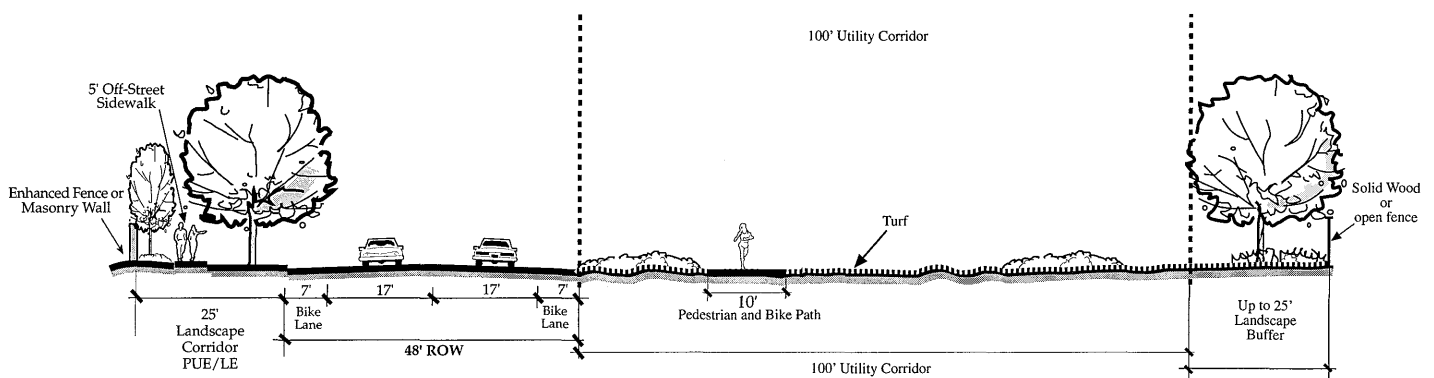
The north south powerline corridor is to be a fully landscaped parkway with a Class 1 bike path, as shown in Figures A-42 and A-43 by the adjacent subdivision as described in the Development Agreement. Landscaping within the powerline corridor shall include turf, shrubs, and trees that will be less than 15 feet in height at full growth selected from Table A-4. Such trees (shrubs) shall be grouped

in small groves of three or four trees set not more than 15 feet apart. The groups shall be set randomly, at intervals of not more than 150 feet.

**FIGURE A-43
PLAN VIEW OF LANDSCAPING IN POWER
LINE PARKWAY**



**FIGURE A-42
CROSS SECTION OF LANDSCAPING IN
POWER LINE PARKWAY**



A landscaped buffer up to 25 feet wide will be provided between the residential parcels and the powerline easement adjacent to Parcels WW-6, WW-7 and WW-8. The buffer will be allowed to vary to less than 25 feet where required by the residential lotting pattern or residential streets. The buffer area will be landscaped consistent with the powerline corridor, including turf and shrubs. A standard street tree *Tillia Cordata* "Little Leaf Linden" will be placed in this buffer at intervals of 30 feet on center.

9.4.5 Residential Adjacent to Electric Substation

Affected Parcels: WW-1

Parcel 83 is 50 feet wide to create a setback from the property line surrounding the substation to the residential property line. Residences shall side on or front toward the substation. Landscaping shall be provided in the setback corridor with the development of Parcel WW-1. This is not intended to be a public access area, although the residents of the adjacent parcels may have access to the area. The primary landscaping shall include shrubs and groundcover. Shrubs may be used to screen the existing masonry

wall adjacent to the substation, but any trees within this corridor shall be set back from the wall to avoid tree limbs growing over the wall.

9.4.6 Park Edges

Affected Parcels: WW-2, WW-3, WW-4 and WW-8

The detention basin in Freerun Park (Parcel WW-51) adjacent to Baseline Road shall include a 25 foot wide landscaped corridor consistent with the landscaping along the north side of Baseline Road. Dwellings within Parcel WW-4 shall side on or face Parcel WW-51 across a single loaded street. Similarly, dwellings within Parcels WW-2 and WW-3 shall side on or face toward the park in Parcel WW-50 across a single loaded street.

9.4.7 Commercial and High Density Residential Adjacent to Wetland Compensation Area

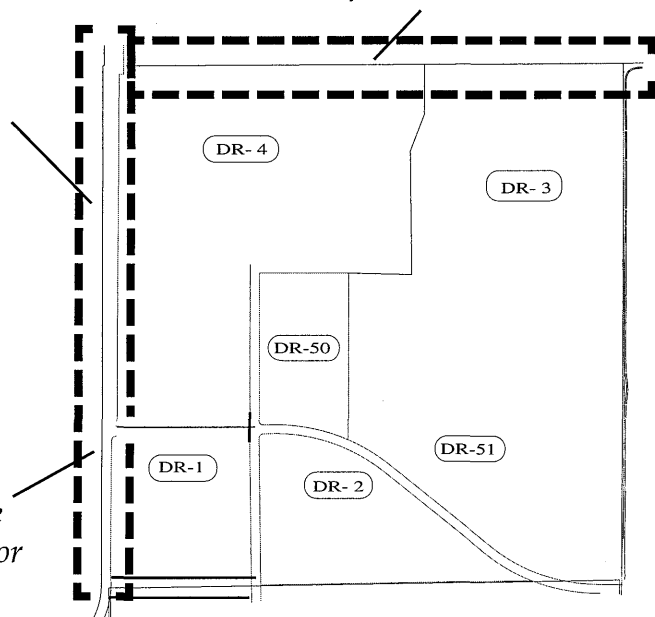
The commercial and high density residential parcels (Parcel WW-17, WW-40 and WW-41) along the north side of wetland compensation area (WW-82) will be buffered from the compensation area by a 25 foot wide open space parcel (Parcel WW-85).

FIGURE A-44
NEIGHBORHOOD E DESIGN ISSUES

9.5.1 Residential Land Adjacent to Agricultural Land and Fiddymment Road

9.5.2 Agricultural Land Adjacent to Residential

9.5.3 Overhead Powerline Within Landscape Corridor



Consistent with the Army Corps of Engineers (ACOE) permit for the wetland compensation area, no landscaping will be provided in this buffer area. In addition, the ACOE permit requires that the adjacent commercial and high density land uses shall be graded so that no surface run off water is allowed to enter the buffer area and a solid masonry fence shall be provided along the north edge of the buffer.

9.5 Neighborhood E

The specific conditions unique to Neighborhood E are identified in Figure A-44.

9.5.1 Residential Adjacent to Agriculture and Fiddymment Road

Affected Parcels: DR-1 and DR-4

Agricultural-zoned land and Fiddymment Road abuts the plan area west of Neighborhood E. Fiddymment Road and the landscape corridor provides a buffer between the residential and the agricultural uses.

- The separation between residential and agricultural use will be provided by a minimum 50-foot buffer to the living structure in all neighborhoods immediately abutting agricultural-zoned lands. Along the west side adjacent to Fiddymment Road the buffer includes the road, landscape corridors and rear yard setbacks.
- In the event that agricultural use is converted to a non-agricultural use adjacent to Neighborhood E the 50 foot buffer is no longer required.
- An enhanced masonry wall and landscaping will be provided on the east side of Fiddymment Road adjacent to Neighborhood E.

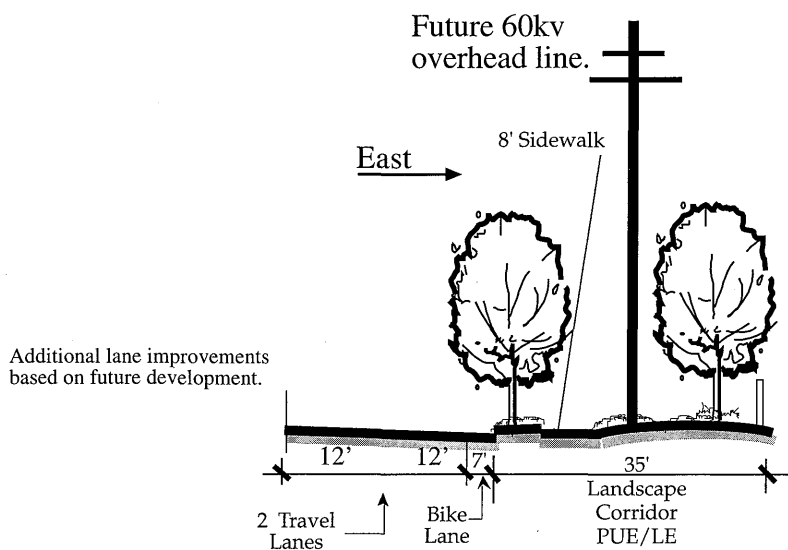
9.5.2 Residential Adjacent to Agriculture on the North City Boundary

Affected Parcels: DR-3 and DR-4

Agricultural-zoned land abuts the plan area north of Neighborhood E.

- A masonry wall is required adjacent to the agricultural-designated land. The wall shall be constructed as shown in Figure A-14.
- The separation between residential and agricultural use will be provided by a 50-foot rear yard setback to the living structure in all residential parcels abutting agricultural zoned lands.

FIGURE A-45
TYPICAL LANDSCAPE CORRIDOR ALONG FIDDYMENT ROAD WITH POWERLINE



9.5.3 Overhead Powerline Within Landscape Corridor

Affected Parcels: DR-1 and DR-4

The landscape corridor along Fiddymment Road may include an overhead powerline corridor. The landscape corridor design must allow for a sidewalk, street tree along the road side and an accent tree that will not conflict with the future placement of a powerline. A typical cross section of the street landscape corridor is shown in Figure A-45.

9.5.4 Street Lights

Streets lights in Neighborhood E shall be the "acorn" style as shown in Figure 40B.

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